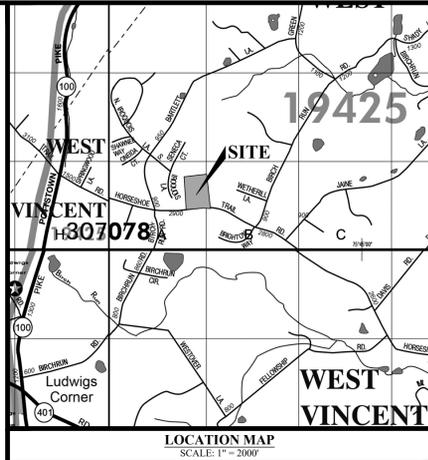


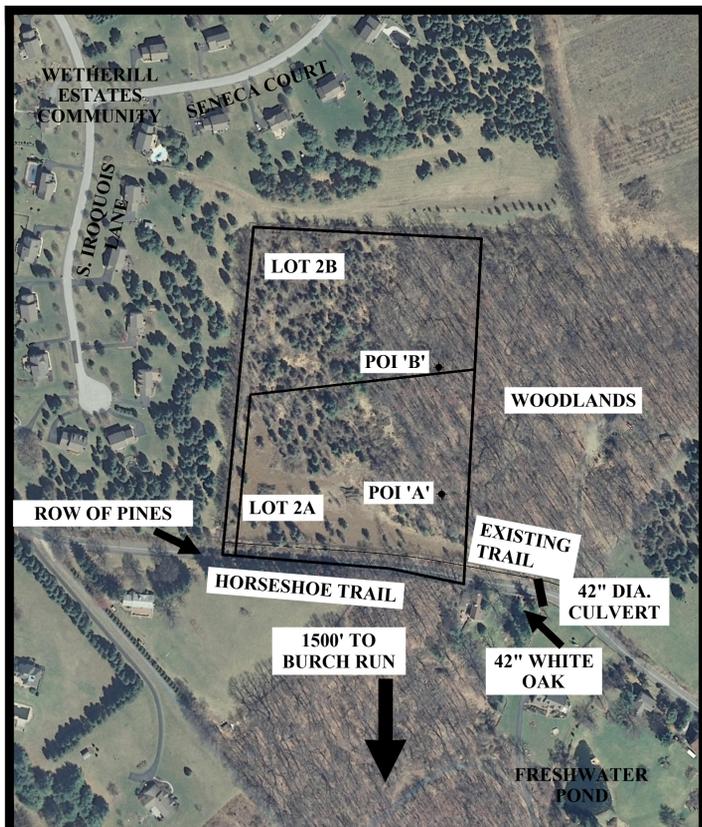
PRELIMINARY / FINAL SUBDIVISION & LAND DEVELOPMENT PLAN

FOR BELLA CUSTOM HOMES

2969 HORSESHOE TRAIL, CHESTER SPRINGS, PA 19425
WEST VINCENT TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA



LPI	Owner 1	Owner 2	Local Address	Zip Code	Mailing Address 1	Mailing Address 2
25-3-89	SJOSTROM MIKAEL S	SJOSTROMERIN H	2928 HORSESHOE TR	19425	2928 HORSESHOE TR	CHESTER SPRINGS PA
25-3-89.1	KELLY PATRICK	KATHLEEN M	2972 HORSESHOE TR	19425	2972 HORSESHOE TR	CHESTER SPRINGS PA
25-3-89.7	FOCH ANITA	FOCH NORMAN M JR	33 BRIGHTON WY	19425	2980 HORSESHOE TR	CHESTER SPRINGS PA
25-3-89.8	CLARK JOHN J	ELIZABETH M	27 BRIGHTON WY	19425	27 BRIGHTON WAY	CHESTER SPRINGS PA
25-3-90	SPADAFORD JOSEPH F	JENNIFER J	2948 HORSESHOE TR	19425	2948 HORSESHOE TR	CHESTER SPRINGS PA
25-3-92.1	WHITE HARRY	JEAN T	2939 HORSESHOE TR	19425	2939 HORSESHOE TR	CHESTER SPRINGS PA
25-3-92.2	O'CONNOR DENISE M	O'CONNOR MARK F	38 WETHERILL LA	19425	38 WETHERILL LA	CHESTER SPRINGS PA
25-3-92.2B	ACHENBACH MICHELLE		26 WETHERILL LA	19425	26 WETHERILL LA	CHESTER SPRINGS PA
25-3-92.2C	PARSONS MICHAEL W	JANET M	30 WETHERILL LA	19425	30 WETHERILL LA	CHESTER SPRINGS PA
25-3-92.2D	LUTERAN FRANK K	MARY V	32 WETHERILL LA	19425	32 WETHERILL LA	CHESTER SPRINGS PA
25-3-92.2E	ALEXANDER MICHAEL L	MARY M	27 WETHERILL LA	19425	27 WETHERILL LA	CHESTER SPRINGS PA
25-3-92.2F	MUNDT ROBERT J	JENNIFER W	17 WETHERILL LA	19425	17 WETHERILL LA	CHESTER SPRINGS PA
25-3-96	DUNN ROBERT M TRUST	DUNN MARY E TRU ETAL	953 BIRCHRUN RD	19425	1004 BIRCHRUN RD	CHESTER SPRINGS PA
25-3-150	COLONA MARVIN J JR		2996 HORSESHOE TR	19425	2996 HORSESHOE TR	CHESTER SPRINGS PA
25-3-151	GLASER TERENCE	MARGARET L	2990 HORSESHOE TR	19425	2990 HORSESHOE TR	CHESTER SPRINGS PA
25-3-201	GLIGLEY JOSEPH E	MAUREEN T	13 S IROQUOIS LA	19425	13 S IROQUOIS LA	CHESTER SPRINGS PA
25-3-202	CORNELL PATRICK M	LINDA C	21 S IROQUOIS LA	19425	21 S IROQUOIS LA	CHESTER SPRINGS PA
25-3-203	ZAUMS JOHN ROBERT	LISA A	27 S IROQUOIS LA	19425	27 S IROQUOIS LA	CHESTER SPRINGS PA
25-3-204	BROCKNER MICHAEL J	SUZANNE M	33 S IROQUOIS LA	19425	33 S IROQUOIS LA	CHESTER SPRINGS PA
25-3-205	ROBERTS WILLIAM C	DARA L	37 S IROQUOIS LA	19425	37 S IROQUOIS LA	CHESTER SPRINGS PA
25-3-206	MAZUR JOHN J		42 S IROQUOIS LA	19425	42 S IROQUOIS LA	CHESTER SPRINGS PA
25-3-207	BUZBY DEAN S	KIMBERLY Z	38 S IROQUOIS LA	19425	38 S IROQUOIS LA	CHESTER SPRINGS PA
25-3-208	WINES JESSE M	WINES KELLY J	34 S IROQUOIS LA	19425	34 S IROQUOIS LA	CHESTER SPRINGS PA
25-3-209	ZHANG WAYNE	LONG HAI YANG	26 S IROQUOIS LA	19425	26 S IROQUOIS LA	CHESTER SPRINGS PA
25-3-210	MATTIA JOSEPH J	ROSEMARIE A	20 S IROQUOIS LA	19425	20 S IROQUOIS LA	CHESTER SPRINGS PA
25-3-211	GOAS THOMAS	KARA MARECI	4 SENECA CRT	19425	4 SENECA CRT	CHESTER SPRINGS PA
25-3-212	BURNS MICHAEL T	MARYANN	10 SENECA CRT	19425	10 SENECA CRT	CHESTER SPRINGS PA
25-3-213	SUMNER CHRISTOPHER S	JANICE L	16 SENECA CRT	19425	16 SENECA CRT	CHESTER SPRINGS PA
25-3-214	DILELLO ANTHONY M	DILELLO KAREN B	20 SENECA CRT	19425	20 SENECA CRT	CHESTER SPRINGS PA
25-3-215	MAERZ ROBERT F	JEANNETTE A	26 SENECA CRT	19425	26 SENECA CRT	CHESTER SPRINGS PA
25-3-222	CAUGHY CLARK D	JAMIE LYNN	19 SENECA CRT	19425	19 SENECA CRT	CHESTER SPRINGS PA
25-3-223	DOUGHERTY JOHN P	ELEANOR B	13 SENECA CRT	19425	13 SENECA CRT	CHESTER SPRINGS PA
25-3-224	MULLEN MICHAEL S	MULLEN LINDA T	3 SENECA CRT	19425	3 SENECA CRT	CHESTER SPRINGS PA
25-3-226.1	CONCOWICH CLARE M		41 S IROQUOIS LA	19425	41 S IROQUOIS LA	CHESTER SPRINGS PA
25-3-226.2	KOPKO KEITH M		43 S IROQUOIS LA	19425	43 S IROQUOIS LA	CHESTER SPRINGS PA

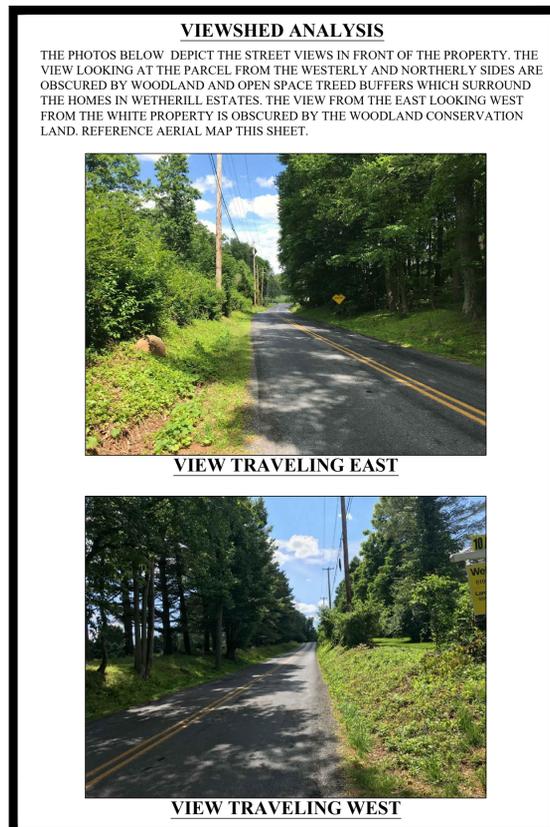


AERIAL MAP
1" = 200'

NOTE: LOCATION OF PINES AN 42" OAK TAKEN FROM SCENIC INVENTORY VISUALLY SIGNIFICANT LANDSCAPES MAP ON PAGE 87 (1990).

SHEET INDEX

NUMBER	DESCRIPTION
1	COVER SHEET
2	TITLE PLAN
3	EXISTING CONDITIONS PLAN
4	EXISTING RESOURCE & SITE PLAN ANALYSIS PLAN
5	POST CONSTRUCTION STORMWATER MANAGEMENT - IMPROVEMENTS PLAN
6	POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS-1
7	POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS-2
8	SEDIMENT & EROSION CONTROL PLAN
9	SEDIMENT & EROSION CONTROL DETAILS-1
10	SEDIMENT & EROSION CONTROL DETAILS-2



VIEWSHED ANALYSIS

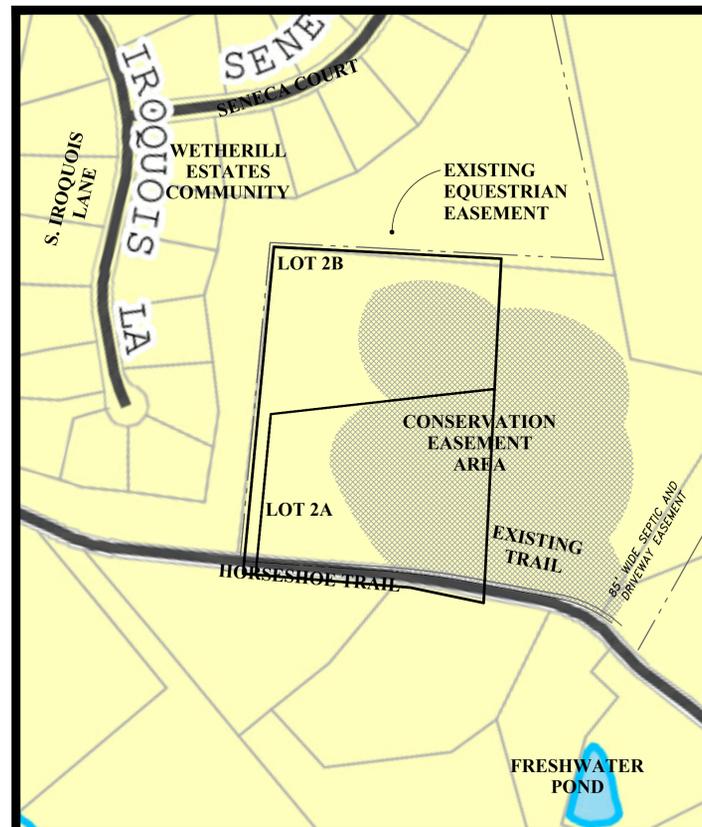
THE PHOTOS BELOW DEPICT THE STREET VIEWS IN FRONT OF THE PROPERTY. THE VIEW LOOKING AT THE PARCEL FROM THE WESTERLY AND NORTHERLY SIDES ARE OBSCURED BY WOODLAND AND OPEN SPACE TREED BUFFERS WHICH SURROUND THE HOMES IN WETHERILL ESTATES. THE VIEW FROM THE EAST LOOKING WEST FROM THE WHITE PROPERTY IS OBSCURED BY THE WOODLAND CONSERVATION LAND. REFERENCE AERIAL MAP THIS SHEET.



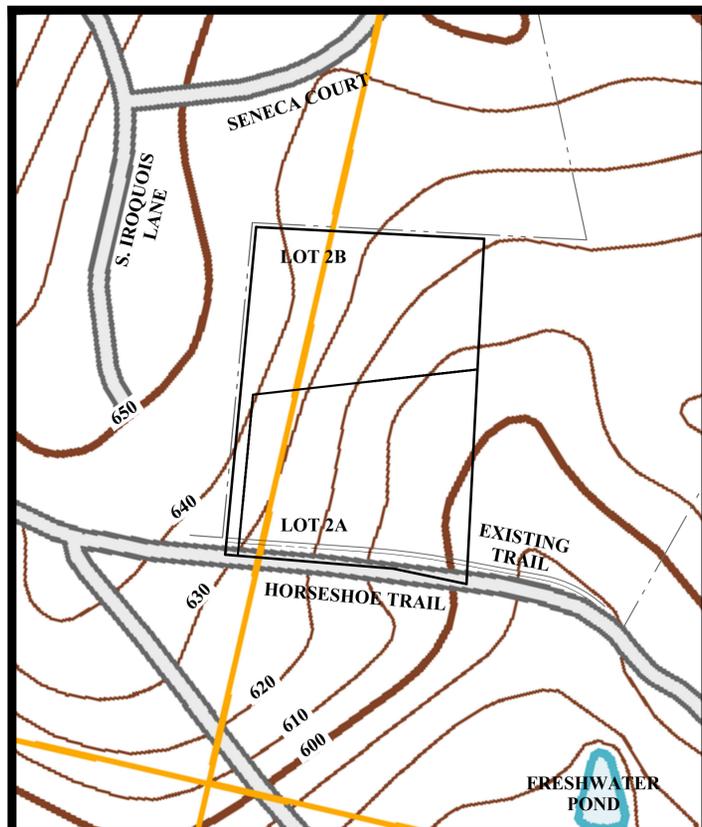
VIEW TRAVELING EAST



VIEW TRAVELING WEST



ZONING MAP (R2 RESIDENTIAL)
1" = 200'



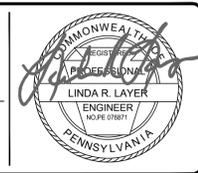
USGS MAP
1" = 200'

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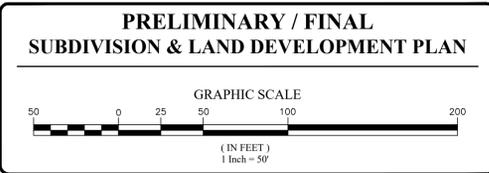


Pennsylvania One Call System
PA, act 172 of 1986 requires
three working days notice
Serial Numbers
20191573343
PENNSYLVANIA ACT 187 REQUIREMENTS:
Inland Design, LLC does not guarantee the accuracy of the location for existing subsurface utility structures shown on the plans, nor does Inland Design, LLC guarantee that all subsurface structures are shown. The contractor shall verify the location and elevation of all underground utilities and structures before the start of work.

INLAND DESIGN
Civil Engineers, Surveyors & Land Development Consultants
16 Hagerty Blvd. Phone: (484) 947-2928
West Chester, PA 19382 Fax: (484) 947-2946
www.InlandDesign.net Info@InlandDesign.net



No.	Date:	Description:
1	2019/12/02	REVISED PER ENGINEER'S COMMENT LETTER 2019/11/18
2	2020/1/31	REVISED PER CCED AND ENGINEER'S COMMENTS

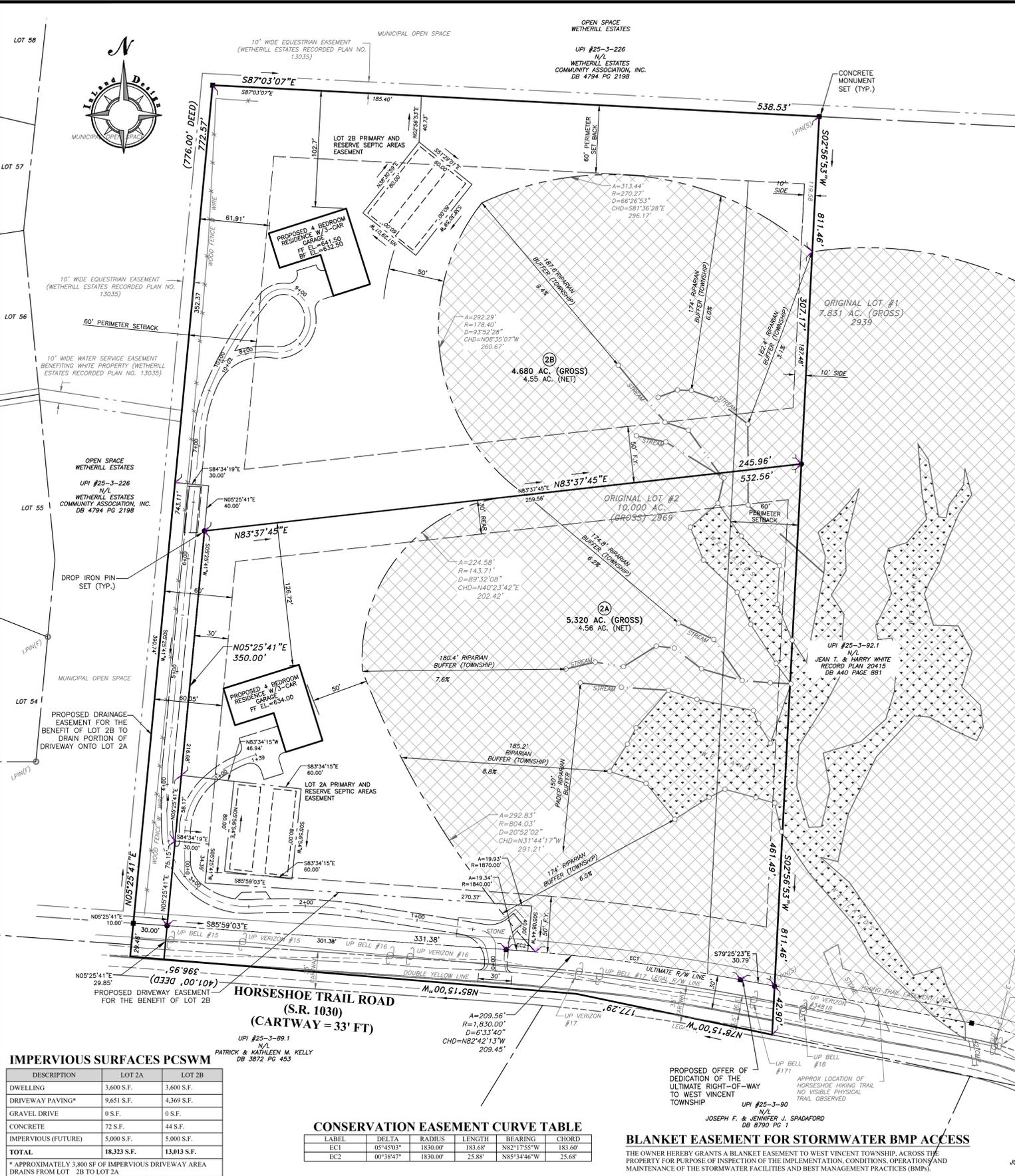


Date: 10/08/2019
Scale: 1" = 200'
Drawn by: TAH
Checked by: LRL
Project No. 11420

COVER SHEET FOR
BELLA CUSTOM HOMES
2969 HORSESHOE TRAIL
CHESTER SPRINGS, PA 19425
WEST VINCENT TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA

SHEET
1
OF 10

OWNER OF RECORD:
PATRICIA MORGERA
1520 STOUFF ROAD
DOWNTOWNTOWN, PA 19335
PMORGERA@COMCAST.NET



IMPERVIOUS SURFACES PCSWM

DESCRIPTION	LOT 2A	LOT 2B
DWELLING	3,600 S.F.	3,600 S.F.
DRIVEWAY PAVING*	9,651 S.F.	4,369 S.F.
GRAVEL DRIVE	0 S.F.	0 S.F.
CONCRETE	72 S.F.	44 S.F.
IMPERVIOUS (FUTURE)	5,000 S.F.	5,000 S.F.
TOTAL	18,323 S.F.	13,013 S.F.

* APPROXIMATELY 3,800 SF OF IMPERVIOUS DRIVEWAY AREA DRAINS FROM LOT 2B TO LOT 2A

CONSERVATION EASEMENT CURVE TABLE

LABEL	DELTA	RADIUS	LENGTH	BEARING	CHORD
EC1	05°45'03"	1830.00'	183.68'	N82°17'55"W	183.60'
EC2	00°38'47"	1830.00'	25.88'	N85°34'46"W	25.68'

BLANKET EASEMENT FOR STORMWATER BMP ACCESS

THE OWNER HEREBY GRANTS A BLANKET EASEMENT TO WEST VINCENT TOWNSHIP, ACROSS THE PROPERTY FOR PURPOSE OF INSPECTION OF THE IMPLEMENTATION, CONDITIONS, OPERATIONS AND MAINTENANCE OF THE STORMWATER FACILITIES AND BEST MANAGEMENT PRACTICES (BMPs).

JOSEPH F. & JENNIFER J. SPAOFAORD
DB 8790 PG 1

INLAND DESIGN
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Fax: (484) 947-2946
Info@InlandDesign.net

No.	Date:	Description:
1	2019/12/02	REVISED PER ENGINEER'S COMMENT LETTER 2019/11/18
2	2019/12/19	REVISED PER ZONING REVIEW #2 DATED 2019/12/19
3	2020/01/10	REVISED PER ENGINEER'S REVIEW LETTER 2020/01/09

ZONING DATA

ZONING DISTRICT: R-2 TIER III SUBDIVISION**
EXISTING USE: RESIDENTIAL USE - VACANT LAND
PROPOSED USE: SINGLE-FAMILY DETACHED DWELLING

DESCRIPTION	REQUIRED	PROPOSED LOT 2A	PROPOSED LOT 2B
MAXIMUM DENSITY	1 DU/120,000 SF OF ATA	SEE DENSITY CALCULATION	SEE DENSITY CALCULATION
MIN. REQUIRED GREENWAY	55% OF ATA PLUS PRIMARY CONSERVATION AREAS	SEE GREENWAY CALCULATION	SEE GREENWAY CALCULATION
MIN. LOT AREA	NONE	197,944 SF	197,789 SF
MAX. LOT AREA	NONE	-	-
LOT WIDTH	60 FT AT BSL	499.42 FT	489.52 FT
MIN. LOT FRONTAGE	30 FT	541.73 FT	30 FT
BUILDING SETBACKS			
FRONT YARD	5' (MIN)	5'0"	5'0"
SIDE YARD	10' (MIN)	10'0"	10'0"
REAR YARD	30' (MIN)	30'0"	30'0"
MIN. TRACT PERIMETER SETBACK	60' (MIN)	60'	60'
MAX. IMPERVIOUS COVERAGE*	25%	5%	5%

* 2010 ZONING ORDINANCE EXCLUDES DRIVEWAYS AND PUBLIC SIDEWALKS FROM IMPERVIOUS AREA ZONING CALCULATIONS.
** FOR COMPLETE ZONING INFORMATION REFER TO WEST VINCENT ZONING ORDINANCE.

ADJUSTED TRACT AREA CALCULATIONS

DESCRIPTION	AREA (SF)	AREA (AC)	MULTIPLIER	NET-OUT (SF)	NET-OUT (AC)
GROSS LOT AREA	435,600 S.F.	10.00	-	-	-
AREA WITHIN RIGHT-OF-WAY***	11,846 S.F.	0.27	100%	11,846 S.F.	0.27
FLOOD HAZARD DISTRICT	0 S.F.	0.00	75%	0 S.F.	0.00
RIPARIAN BUFFER WETLANDS	216,168 S.F.	4.96	75%	162,126 S.F.	3.72
STEEP SLOPES >25%	792 S.F.	0.02	75%	594 S.F.	0.01
HIGH TENSION ELEC. R.W	0 S.F.	0.00	75%	0 S.F.	0.00
TOTAL NET-OUT	174,566 S.F.	4.01			
ADJUSTED TRACT AREA	261,034 S.F.	5.99			

LOT 2A NET AREA CALCULATION

DESCRIPTION	AREA (SF)	AREA (AC)	MULTIPLIER	NET-OUT (SF)	NET-OUT (AC)
GROSS LOT AREA	231,755 S.F.	5.32	-	-	-
AREA WITHIN RIGHT-OF-WAY***	11,362 S.F.	0.26	100%	11,362 S.F.	0.26
STORMWATER BMP	5,500 S.F.	0.13	100%	5,500 S.F.	0.13
FLOOD HAZARD DISTRICT	0 S.F.	0.00	100%	0 S.F.	0.00
WETLANDS	16,465 S.F.	0.38	100%	16,465 S.F.	0.38
STEEP SLOPES >25%	0 S.F.	0.00	100%	0 S.F.	0.00
HIGH TENSION ELEC. R.W	0 S.F.	0.00	100%	0 S.F.	0.00
TOTAL NET-OUT	33,327 S.F.	0.77			
LOT 2A ADJUSTED TRACT AREA	198,428 S.F.	4.56			

LOT 2B NET AREA CALCULATION

DESCRIPTION	AREA (SF)	AREA (AC)	MULTIPLIER	NET-OUT (SF)	NET-OUT (AC)
GROSS LOT AREA	203,845 S.F.	4.68	-	-	-
AREA WITHIN RIGHT-OF-WAY***	484 S.F.	0.01	100%	484 S.F.	0.01
STORMWATER BMP	3,650 S.F.	0.08	100%	3,650 S.F.	0.08
FLOOD HAZARD DISTRICT	0 S.F.	0.00	100%	0 S.F.	0.00
WETLANDS	0 S.F.	0.00	100%	0 S.F.	0.00
STEEP SLOPES >25%	1,522 S.F.	0.03	100%	1,522 S.F.	0.03
HIGH TENSION ELEC. R.W	0 S.F.	0.00	100%	0 S.F.	0.00
TOTAL NET-OUT	5,656 S.F.	0.13			
LOT 2B ADJUSTED TRACT AREA	198,189 S.F.	4.55			

TIER III DENSITY OF DEVELOPMENT

DESCRIPTION	REQUIRED	PROPOSED
MAXIMUM ALLOWABLE DENSITY - 1 DU/120,000 SF (ADJUSTED TRACT ACREAGE)	261,034 S.F.	2.18
NUMBER OF LOTS PROPOSED	2.0	
DUS/120,000 SF	0.92	
SF/DU	130517.00	

IMPERVIOUS SURFACES SUMMARY

DESCRIPTION	EXISTING	LOT 2A	LOT 2B
DWELLING	0 S.F.	3,600 S.F.	3,600 S.F.
DRIVEWAY PAVING	0 S.F.	1,200 S.F.	1,200 S.F.
GRAVEL DRIVE	1,191 S.F.	0 S.F.	0 S.F.
CONCRETE	0 S.F.	72 S.F.	44 S.F.
DECK	0 S.F.	0 S.F.	0 S.F.
IMPERVIOUS (FUTURE)	0 S.F.	5,000 S.F.	5,000 S.F.
TOTAL	1,191 S.F.	9,872 S.F.	9,844 S.F.

GREENWAY AREA WAIVER REQUEST

PROPOSED LOT	GREENWAY CALCULATION	SECTION	DESCRIPTION
LOT 2A	3.155 ACRES (137,431 S.F.)	403.1.1.	RELIEF REQUESTED FROM PROVIDING SEWER AND WATER FEASIBILITY REPORT
LOT 2B	1.802 ACRES (78,889 S.F.)		
TOTAL	4.96 ACRES (216,320 S.F.)		

PERMIT NUMBER
• PENNDOT HOP PERMIT 060100005
• NPDES INDIVIDUAL PERMIT
• PLANNING MODULE

GENERAL NOTES:

- BEING: CHESTER COUNTY UPI #25-3-92.1A 2969 HORSESHOE TRAIL PLAN OF RECORD: PLAN 204154 DB 10067 PAGE 644
- BOUNDARY INFORMATION AND PHYSICAL FEATURES SHOWN PER PHYSICAL FIELD SURVEY PERFORMED BY CHESTER VALLEY ENGINEERS, INC. IN ACCORDANCE WITH PLANS AND DEEDS OF RECORD.
- TOTAL TRACT ACREAGE - 10.00 ACRES.
- ELEVATIONS BASED ON NAVD8S IN ACCORDANCE WITH LIDAR DATA PUBLISHED BY PENNSYLVANIA SPATIAL DATA ACCESS (PASDA).
- THERE IS NO 100 YEAR FLOODPLAIN LINE SHOWN ON THE PLAN, WHICH WAS DETERMINED FROM THE REFERENCE FIRM PANELS, MAP NUMBER 42029C0050G, EFFECTIVE 9/29/2017.
- SOILS INFORMATION TAKEN FROM UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCE CONSERVATION SERVICE.
- SITE GEOLOGY IS CHARACTERIZED AS gpm: GRAPHITIC FELSIC GNEISS, LIGHT TO DARK GRAY AND MEDIUM GRAINED.
- THE WETLANDS SHOWN HEREON WERE DELINEATED BY EVANS MILL ENVIRONMENTAL, LLC AND FIELD LOCATED BY CHESTER VALLEY ENGINEERS, INC.
- SEPTIC TESTING SHOWN HEREON FOR PROPOSED LOT 2B WAS PERFORMED BY EVANS MILL ENVIRONMENTAL, LLC AND FIELD LOCATED BY CHESTER VALLEY ENGINEERS.
- SEPTIC TESTING FOR PROPOSED LOT 2A WAS PERFORMED BY WILLOW RUN CONSULTING AND FIELD LOCATED BY INLAND DESIGN, INC.
- EXISTING LEGAL RIGHT OF WAY OF HORSESHOE TRAIL SHOWN IN ACCORDANCE WITH PENNDOT FORM 989, NO RIGHT OF WAY PLANS AVAILABLE.
- THE SITE IS LOCATED IN THE BIRCH RUN WATERSHED.
- THE PROPERTY IS SERVICED BY ON-LOT SEWER AND PRIVATE WELLS.
- COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND FACILITIES CANNOT BE GUARANTEED. THE CONTRACTOR MUST VERIFY THE LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND/OR FACILITIES PRIOR TO BEGINNING ANY EARTH-MOVING ACTIVITIES.
- THE PURPOSE OF THIS PLAN IS TO CREATE TWO NEW DWELLING LOTS FROM LOT 2, PURSUANT TO THE PROVISIONS OF A MINOR SUBDIVISION IN SECTION 502.2.A.2 OF THE WEST VINCENT TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.
- A PENNDOT PERMIT IS REQUIRED FOR THE DRIVEWAY OPENING ONTO HORSESHOE TRAIL. IT IS PROPOSED THAT THE TWO NEW LOTS SHARE THE DRIVEWAY OPENING SINCE IT PROVIDES THE GREATEST SIGHT DISTANCE.
- GREENWAY LANDS ON EACH LOT WILL BE OWNED AND MAINTAINED BY THE LOT OWNER ON WHICH THE GREENWAY LAND RESIDES. SEE THE TABLE OF ALLOWED USES ON SHEET 3.
- PERMANENT PROTECTION OF THE GREENWAY AREA SHALL BE RE-ESTABLISHED BY A CONSERVATION EASEMENT OVER EACH LOT AS SHOWN HEREON. WITHIN THE GREENWAY CONSERVATION EASEMENT, CLEARING OF WOOD AND HABITAT SHALL GENERALLY BE PROHIBITED, EXCEPT AS NECESSARY TO CREATE TRAILS, LOW TO MEDIUM RECREATIONAL FACILITIES, AND TO INSTALL SURFACE SEPTIC DISPOSAL SYSTEMS OR SPRAY IRRIGATION FACILITIES. THE DETERMINATION OF THE NECESSITY SHALL LIE WITH THE BOARD OF SUPERVISORS. PERMITTED AND CONDITIONAL USES ON GREENWAY LANDS SHALL BE IN ACCORDANCE WITH ZONING ORDINANCE SECTION 1902. SEE NOTE #16 AND THE TABLE OF ALLOWED USES ON SHEET 3.
- THE CLEAR SIGHT TRIANGLE AND AVAILABLE SIGHT DISTANCES SHOWN HEREON ARE MEASURED FROM A POINT 10' FROM THE EDGE OF THE CARTWAY.

LEGEND

- PROPERTY BOUNDARY
- ADJOINING PROPERTY LINE
- TEST PIT LOCATION
- EXISTING RIGHT OF WAY LINE
- EXISTING EASEMENT LINE
- SOILS LINE AND DESCRIPTION
- STEEP SLOPE 15% - 25%
- WETLAND AREA
- EXISTING ROAD / PAVING
- EXISTING DRIVEWAY
- PROPOSED IRON PIN
- PROPOSED MONUMENT
- PROPOSED EASEMENT LINE
- PROPOSED WELL
- PROPOSED DRIVEWAY
- PROPOSED WALL
- EXISTING/PROPOSED GREENWAY

EXISTING EASEMENT INFO

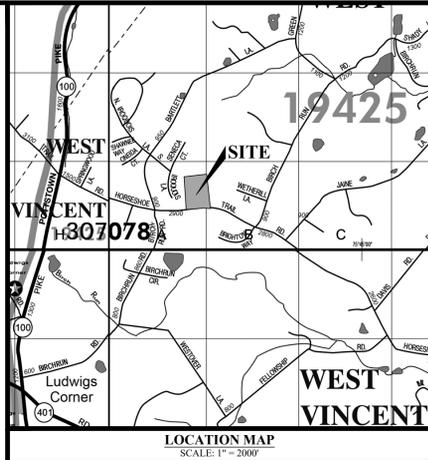
EASEMENTS	OWNERSHIP/MAINTENANCE RESPONSIBILITIES & RESTRICTIONS
WATER SERVICE EASEMENT	OWNED, MANAGED AND, MAINTAINED BY WETHERILL HOA
WETHERILL ESTATES EQUESTRIAN EASEMENT	OWNED, MANAGED AND MAINTAINED BY WETHERILL HOA
HORSESHOE HIKING TRAIL	OWNED BY WEST VINCENT TWP.; LOT 2A OWNER SHALL MAINTAIN TRAIL IN A CONDITION SUITABLE FOR WALKING/HIKING.
LOT 1 GREENWAY	OWNED AND MAINTAINED BY LOT 25-3-92.1, MAINTENANCE PER RECORD PLAN 20415
LOT 2 GREENWAY	OWNED AND MAINTAINED BY LOT 25-3-92.1A, MAINTENANCE PER RECORD PLAN 20415

PROPOSED EASEMENT INFO

EASEMENTS	OWNERSHIP/MAINTENANCE RESPONSIBILITIES & RESTRICTIONS
DRAINAGE FOR LOT 2B	DRIVEWAY OWNED AND MAINTAINED BY LOT 2B. NO ALTERATIONS MAY BE MADE TO THE DRAINAGE EASEMENT WITHOUT TOWNSHIP APPROVAL. APPROXIMATELY 3800 SF OF IMPERVIOUS AREA DRAINS TO THE BMP ON LOT 2A
DRIVEWAY FOR LOT 2B	PROPOSED DRIVEWAY EASEMENT FOR THE BENEFIT OF LOT 2B, OWNED BY LOT 2A, MAINTENANCE SHARED BY LOT 2A & 2B
SEPTIC AREAS FOR LOT 2A	OWNED AND MAINTAINED BY LOT 2A. NO ALTERATION TO BE THE LOCATION OF THE PRIMARY & SECONDARY SEPTIC AREAS ARE PERMITTED WITHOUT THE APPROVAL OF THE CHESTER COUNTY HEALTH DEPARTMENT AND TOWNSHIP.
SEPTIC AREAS FOR LOT 2B	OWNED AND MAINTAINED BY LOT 2B. NO ALTERATION TO BE THE LOCATION OF THE PRIMARY & SECONDARY SEPTIC AREAS ARE PERMITTED WITHOUT THE APPROVAL OF THE CHESTER COUNTY HEALTH DEPARTMENT AND TOWNSHIP.
GREENWAY	OWNED & MAINTAINED BY OWNERS OF LOT 2A & 2B; REFER TO GREENWAY MANAGEMENT PLAN ON SHEET 3 FOR RESTRICTIONS.

CERTIFICATE OF CONFORMANCE:
I HEREBY CERTIFY THAT THE PLAN AND SURVEY SHOWN AND DESCRIBED HEREON ARE CORRECT AND IN ACCORDANCE WITH THE SUBDIVISION AND DEVELOPMENT ORDINANCE OF WEST VINCENT TOWNSHIP, EXCEPT AS INDICATED HEREON, AND THAT THE MONUMENTS SHALL BE PLACED ACCURATELY AS REQUIRED.

PROFESSIONAL LAND SURVEYOR DATE



COMMONWEALTH OF PENNSYLVANIA :
COUNTY OF CHESTER :
ON THE DAY OF A.D. 2019 BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC OF THE COMMONWEALTH OF PENNSYLVANIA, RESIDING PERSONALLY APPEARED _____ WHO
ACKNOWLEDGED THEMSELVES TO BE THE OWNER OF THE PROPERTY DEPICTED ON THIS PLAN, AND THAT AS SUCH BEING AUTHORIZED TO DO SO, THEY EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED.

(OWNER)
WITNESS MY HAND AND NOTARIAL SEAL, THE DAY AND YEAR AFORESAID.

NOTARY PUBLIC

WEST VINCENT TOWNSHIP BOARD OF SUPERVISORS:
AT A MEETING HELD ON THE DAY OF 2019, THE WEST VINCENT TOWNSHIP BOARD OF SUPERVISORS, BY MOTION APPROVED THE FINAL PLAN, AS SHOWN AND DESCRIBED HEREON.

MEMBER DATE
MEMBER DATE
MEMBER DATE

WEST VINCENT TOWNSHIP PLANNING COMMISSION:
AT A MEETING HELD ON THE DAY OF 2019, THE WEST VINCENT TOWNSHIP PLANNING COMMISSION, BY MOTION RECOMMENDED FOR APPROVAL THE FINAL PLAN, AS SHOWN AND DESCRIBED HEREON.

CHAIRPERSON DATE
MEMBER DATE
MEMBER DATE

CHESTER COUNTY PLANNING COMMISSION
PROCESSED AND REVIEWED. A REPORT HAS BEEN PREPARED BY THE CHESTER COUNTY PLANNING COMMISSION IN ACCORDANCE WITH THE MUNICIPALITIES PLANNING CODE.
CERTIFIED THIS DATE _____
FOR THE DIRECTOR
RECORDED IN THE CHESTER COUNTY COURTHOUSE THIS DAY OF _____, 2019, IN PLAN BOOK _____ PAGE _____

WEST VINCENT TOWNSHIP ENGINEER:
I HEREBY CERTIFY THAT THE PLANS SHOWN HERETO WERE REVIEWED BY THE WEST VINCENT TOWNSHIP ENGINEER.

TOWNSHIP ENGINEER DATE

CERTIFICATE OF CONFORMANCE:
I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE, THESE PLANS ARE IN CONFORMITY WITH ENGINEERING, ZONING, BUILDING, SANITATION AND OTHER APPLICABLE TOWNSHIP ORDINANCES AND REGULATIONS OF WEST VINCENT TOWNSHIP.

ENGINEER DATE

ERROR OF CLOSURE:
ERROR OF CLOSURE IS LESS THAN 1:10,000.

OWNER OF RECORD:
PATRICIA MORGERA
1520 STOFF ROAD
DOWNTOWN, PA 19335
PMORGERA@COMCAST.NET

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Inland Design, LLC expressly reserves its common law copyright and all other proprietary rights in these plans. All drawings, specifications and copies thereof are and shall remain the property of Inland Design, LLC. They are to be used only in respect to this project and are not to be used on any other project, nor are they to be assigned to any third party without first obtaining the expressed written permission and consent of Inland Design, LLC. Any reuse without written permission, verification, consent or adoption by Inland Design, LLC for the specific purpose intended, will be at the third party's sole risk and without liability or legal exposure to Inland Design, LLC. The third party shall further indemnify and hold harmless Inland Design, LLC from all claims, damages, losses, and expenses arising therefrom or resulting therefrom.

PARCEL NO. 25-3-92.1A | D.B. 10067 | PG. 644

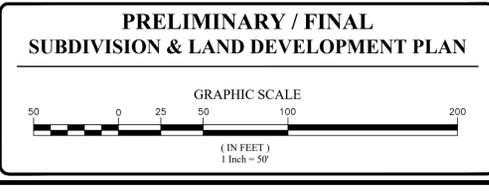
PA. act 172 of 1986 requires three working days notice
Serial Number: 20191573343
PENNSYLVANIA ACT 187 REQUIREMENTS:
Inland Design, LLC does not guarantee the accuracy of the location for existing subsurface utility structures shown on the plans, nor does Inland Design, LLC guarantee that all subsurface structures are shown. The contractor shall verify the location and elevation of all underground utilities and structures before the start of work.

INLAND DESIGN
Civil Engineers, Surveyors & Land Development Consultants
16 Hagerty Blvd.
West Chester, PA 19382
www.InlandDesign.net

Phone: (484) 947-2928
Fax: (484) 947-2946
Info@InlandDesign.net

LINDA R. LAYER
ENGINEER
NOPE 07811

No.	Date:	Description:
1	2019/12/02	REVISED PER ENGINEER'S COMMENT LETTER 2019/11/18
2	2019/12/19	REVISED PER ZONING REVIEW #2 DATED 2019/12/19
3	2020/01/10	REVISED PER ENGINEER'S REVIEW LETTER 2020/01/09



Date: 10/08/2019
Scale: 1" = 50'
Drawn by: T.H.H.
Checked by: I.R.L.
Project No. 11420

TITLE PLAN FOR
BELLA CUSTOM HOMES
2969 HORSESHOE TRAIL
CHESTER SPRINGS, PA 19425
WEST VINCENT TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA

SHEET
2
OF 10

N:\11400\11420\dwg\Sheets\2 TITLE PLAN.dwg



TIER III DENSITY OF DEVELOPMENT

MAXIMUM ALLOWABLE DENSITY = 1 DU/120,000 SF (ADJUSTED TRACT ACREAGE)		
MAXIMUM ALLOWABLE LOTS	261.034 S.F.	2.18
NUMBER OF LOTS PROPOSED		2.0
DU'S/120,000 SF		0.92
SF/DU		130517.00

TIER III GREENWAY

REQUIRED GREENWAY	AREA (AC)	MULTIPLIER	AREA (AC)
ADJUSTED TRACT ACREAGE	5.99	55%	3.29
WETLANDS	0.378	100%	0.38
FLOODPLAINS	0	100%	0.00
SUBMERGED LANDS	0	100%	0.00
STEEP SLOPES >25%	0.03	100%	0.03
TOTAL REQUIRED GREENWAY			3.7025
PROPOSED GREENWAY			4.9660

GREENWAY AREA

PROPOSED LOT	GREENWAY CALCULATION
LOT 2A	3.155 ACRES (137,431 S.F.)
LOT 2B	1.802 ACRES (78,889 S.F.)
TOTAL	4.966 ACRES (216,320 S.F.)

IMPERVIOUS SURFACES SUMMARY

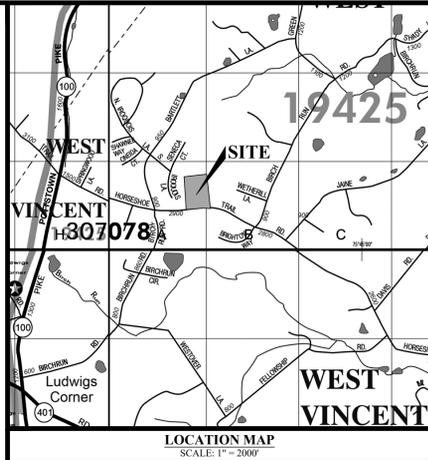
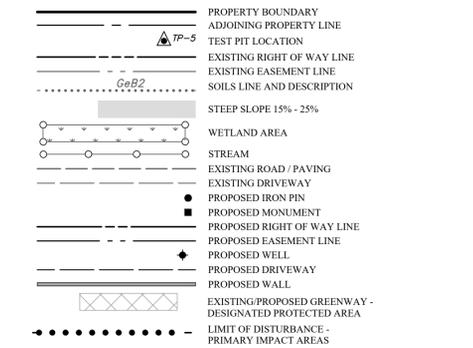
DESCRIPTION	EXISTING
DWELLING	0 S.F.
DRIVEWAY PAVING	0 S.F.
GRAVEL DRIVE	1,191 S.F.
CONCRETE	0 S.F.
DECK	0 S.F.
IMPERVIOUS (FUTURE)	0 S.F.
TOTAL	1,191 S.F.

ALLOWED USES AND IMPROVEMENTS ON GREENWAY LANDS:

- CONSERVATION OF OPEN LAND IN ITS NATURAL STATE, INCLUDING BUT NOT LIMITED TO WOODLAND, FALLOW FIELD AND MANAGED MEADOW.
- AGRICULTURAL AND HORTICULTURAL USES, INCLUDING RAISING CROPS OR LIVESTOCK; AND AQUACULTURE, INCLUDING RESIDENCES AND ASSOCIATED BUILDINGS THAT ARE SPECIFICALLY NEEDED TO SUPPORT AN ACTIVE, VIABLE AGRICULTURAL OR HORTICULTURAL OPERATION. SPECIFICALLY EXCLUDED ARE INTENSIVE AGRICULTURE, WHOLESALER NURSERIES AND COMMERCIAL LIVESTOCK OPERATIONS INVOLVING SWINE OR POULTRY.
- PASTURELAND FOR HORSES, EXCLUDING COMMERCIAL HACK STABLE OPERATIONS, UNROOFED EQUESTRIAN FACILITIES AND STRUCTURES, INCLUDING TRAINING AND EXERCISE FACILITIES, SHALL BE PERMITTED BUT MAY NOT OCCUPY MORE THAN HALF OF THE MINIMUM REQUIRED GREENWAY LAND. ROOFED EQUESTRIAN AND STRUCTURES SHALL NOT, IN THE AGGREGATE, OCCUPY MORE THAN TWENTY-FIVE (25) PERCENT OF THE MINIMUM REQUIRED GREENWAY LAND.
- SILVICULTURE, IN KEEPING WITH ESTABLISHED STANDARDS FOR SELECTIVE HARVESTING AND SUSTAINED-YIELD FORESTRY.
- NEIGHBORHOOD GREENWAY LAND USES SUCH AS VILLAGE GREENS, COMMONS, PICNIC AREAS, COMMUNITY GARDENS, TRAILS PER SECTION 626 OF THE TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE, AND SIMILAR LOW TO MEDIUM INTENSIVE RECREATIONAL USES SPECIFICALLY EXCLUDING HIGH INTENSITY MOTORIZED OFF-ROAD VEHICLES, RIFLE RANGES, AND OTHER USES SIMILAR IN CHARACTER AND POTENTIAL IMPACT AS DETERMINED BY THE BOARD.
- ACTIVE, MEDIUM INTENSITY RECREATION AREAS, SUCH AS PLAYGROUNDS, PLAYING FIELDS, COURTS, AND BIKEWAYS, PROVIDED SUCH AREAS DO NOT OCCUPY MORE THAN HALF OF THE MINIMUM REQUIRED GREENWAY LAND. PLAYGROUNDS, PLAYING FIELDS AND COURTS SHALL NOT BE LOCATED WITHIN 100 FEET OF ABUTTING PROPERTIES EXCEPT FOR DEVELOPMENT IN DISTRICTS THAT PERMIT MIXED USES, WHERE THIS SETBACK MAY BE REDUCED AT THE DISCRETION OF THE BOARD OF SUPERVISORS. PARKING FACILITIES FOR THE SAME SHALL ALSO BE PERMITTED, PROVIDED THAT THEY GENERALLY BE GRAVEL SURFACED, UNLIGHTED, PROPERLY DRAINED, PROVIDE SAFE INGRESS AND EGRESS, AND CONTAIN ADEQUATE PARKING.
- WATER SUPPLY AND SEWAGE DISPOSAL SYSTEMS, AND STORM WATER "BEST MANAGEMENT PRACTICES" (BMPs) FACILITIES, EXCLUDING LAGOONS, STRUCTURES, AND ACCESS AREAS, PROVIDED SUCH PERMITTED FACILITIES COMBINED DO NOT OCCUPY MORE THAN TWENTY-FIVE (25%) OF THE REQUIRED GREENWAY LAND. SEWAGE DISPOSAL FACILITIES ALONE SHALL OCCUPY NO MORE THAN TEN (10%) OF GREENWAY LAND.
- EASEMENTS FOR DRAINAGE, EMERGENCY ACCESS, SEWER OR WATER LINES, OR OTHER PUBLIC PURPOSES.
- UNDERGROUND UTILITY RIGHTS-OF-WAY, ABOVE GROUND UTILITY AND STREET RIGHTS-OF-WAY MAY TRAVERSE GREENWAY AREAS BUT SHALL NOT COUNT TOWARD THE MINIMUM REQUIRED GREENWAY LAND.

SEE POST CONSTRUCTION STORMWATER MANAGEMENT PLAN (SHEET 5) FOR GREENWAY AREA MANAGEMENT PLAN.

LEGEND



GENERAL NOTES:

- BEING: CHESTER COUNTY UPI A PART OF #25-3-92.1A 2969 HORSESHOE TRAIL PLAN OF RECORD: PLAN 204154
- BOUNDARY INFORMATION AND PHYSICAL FEATURES SHOWN PER PHYSICAL FIELD SURVEY PERFORMED BY CHESTER VALLEY ENGINEERS, INC. IN ACCORDANCE WITH PLANS AND DEEDS OF RECORD.
- TOTAL TRACT ACREAGE = 10.00 ACRES.
- ELEVATIONS BASED ON NAVD83 IN ACCORDANCE WITH LIDAR DATA PUBLISHED BY PENNSYLVANIA SPATIAL DATA ACCESS (PASDA).
- THERE IS NO 100 YEAR FLOODPLAIN LINE SHOWN ON THE PLAN, WHICH WAS DETERMINED FROM THE REFERENCE FIRM PANELS, MAP NUMBER 42029C0050G, EFFECTIVE 9-29-2017.
- SOILS INFORMATION TAKEN FROM UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCE CONSERVATION SERVICE.
- SITE GEOLOGY IS CHARACTERIZED AS gpm: GRAPHITIC FELSIC GNEISS, LIGHT TO DARK GRAY AND MEDIUM GRAINED.
- THE WETLANDS SHOWN HEREON WERE DELINEATED BY EVANS MILL ENVIRONMENTAL, LLC AND FIELD LOCATED BY CHESTER VALLEY ENGINEERS, INC.
- SEPTIC TESTING SHOWN HEREON FOR PROPOSED LOT 2B WAS PERFORMED BY EVANS MILL ENVIRONMENTAL, LLC AND FIELD LOCATED BY CHESTER VALLEY ENGINEERS.
- SEPTIC TESTING FOR PROPOSED LOT 2A WAS PERFORMED BY WILLOW RUN CONSULTING AND FIELD DESIGN, INC.
- EXISTING LEGAL RIGHT OF WAY OF HORSESHOE TRAIL SHOWN IN ACCORDANCE WITH PENNDOT FORM 889, NO RIGHT OF WAY PLANS AVAILABLE.
- THE SITE IS LOCATED IN THE BIRCH RUN WATERSHED.
- THE PROPERTY IS SERVICED BY ON-LOT SEWER AND PRIVATE WELLS.
- COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND FACILITIES CANNOT BE GUARANTEED. THE CONTRACTOR MUST VERIFY THE LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND/OR FACILITIES PRIOR TO BEGINNING ANY EARTH-MOVING ACTIVITIES.
- THE PURPOSE OF THIS PLAN IS TO CREATE TWO NEW DWELLING LOTS FROM LOT 2, PURSUANT TO THE PROVISIONS OF A MINOR SUBDIVISION IN SECTION 502.2 OF THE WEST VINCENT TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.
- A PENNDOT PERMIT IS REQUIRED FOR THE DRIVEWAY OPENING ONTO HORSESHOE TRAIL. IT IS PROPOSED THAT THE TWO NEW LOTS SHARE THE DRIVEWAY OPENING SINCE IT PROVIDES THE GREATEST SIGHT DISTANCE.
- GREENWAY LANDS ON EACH LOT WILL BE OWNED AND MAINTAINED BY THE LOT OWNER ON WHICH THE GREENWAY LAND RESIDES. SEE THE TABLE OF ALLOWED USES HEREON.
- PERMANENT PROTECTION OF THE GREENWAY AREA SHALL BE RE-ESTABLISHED BY A CONSERVATION EASEMENT OVER EACH LOT AS SHOWN HEREON. WITHIN THE GREENWAY CONSERVATION EASEMENT, CLEARING OF WOODLAND HABITAT SHALL GENERALLY BE PROHIBITED, EXCEPT AS NECESSARY TO CREATE TRAILS, LOW TO MEDIUM RECREATIONAL FACILITIES, AND TO INSTALL SURFACE SEPTIC DISPOSAL SYSTEMS OR SPRAY IRRIGATION FACILITIES. THE DETERMINATION OF THE NECESSITY SHALL LIE WITH THE BOARD OF SUPERVISORS. PERMITTED AND CONDITIONAL USES ON GREENWAY LANDS SHALL BE IN ACCORDANCE WITH ZONING ORDINANCE SECTION 1902. SEE NOTE #17 AND THE TABLE OF ALLOWED USES HEREON.
- THE CLEAR SIGHT TRIANGLE AND AVAILABLE SIGHT DISTANCES SHOWN HEREON ARE MEASURED FROM A POINT 10' FROM THE EDGE OF THE CARTWAY.

SOILS DESCRIPTION

SYMBOL	DESCRIPTION	SLOPE	AVAILABLE WATER CAPACITY	DRAINAGE CLASS	DEPTH TO S.H.W.T.	DEPTH TO BEDROCK	CAPABILITY UNIT	HYDROLOGIC SOIL GROUP	HYDRIC SOIL RATING
CAa	CALIFORN LOAM	0% TO 3%	LOW (ABOUT 4.4 INCHES)	MODERATELY WELL DRAINED	ABOUT 6 INCHES TO 36 INCHES	72 INCHES TO 99 INCHES	2w	D	NO
CBb	CALIFORN LOAM	0% TO 8%	LOW (ABOUT 3.4 INCHES)	MODERATELY WELL DRAINED	ABOUT 6 INCHES TO 36 INCHES	72 INCHES TO 99 INCHES	6s	D	NO
GBb	GLADSTONE GRAVELLY LOAM	3% TO 8%	MODERATE (ABOUT 3.4 INCHES)	WELL DRAINED	MORE THAN 80 INCHES	60 INCHES TO 80 INCHES	2e	B	NO
GB	GLADSTONE GRAVELLY LOAM	0% TO 8%	MODERATE (ABOUT 6.9 INCHES)	WELL DRAINED	MORE THAN 80 INCHES	60 INCHES TO 100 INCHES	6s	A	NO

TOTAL LIMIT OF EARTH DISTURBANCE IS 3.10 ACRES
NPDES PERMIT AREA IS THE SAME AS THE PROPERTY BOUNDARY

OWNER OF RECORD:
PATRICIA MORGERA
1520 STOFF ROAD
DOWNTOWN, PA 19335
PMORGERA@COMCAST.NET

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Pennsylvania One Call System
PA act 172 of 1986 requires
three working days notice
Serial Number
20191573343
PENNSYLVANIA ACT 187 REQUIREMENTS:
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Fax: (484) 947-2946
Info@InlandDesign.net

PROFESSIONAL ENGINEER
LINDA R. LAYER
NO. 07811
PENNSYLVANIA

No.	Date:	Description:
1	2020/01/31	PLAN ADDED PER CCCD COMMENTS

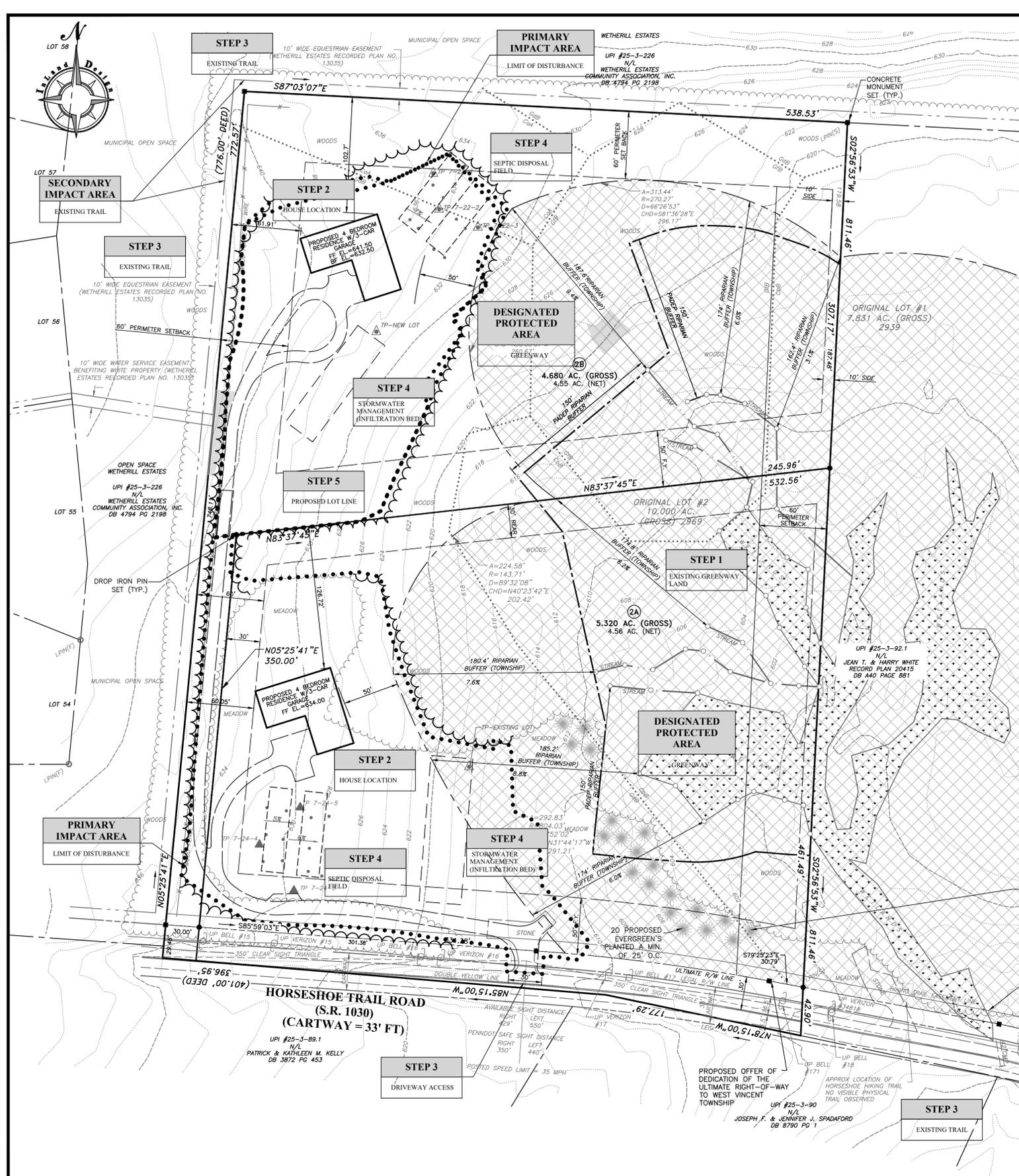
PRELIMINARY / FINAL
SUBDIVISION & LAND DEVELOPMENT PLAN

GRAPHIC SCALE
0 25 50 100 200
(IN FEET)
1 inch = 50'

Date:
10/08/2019
Scale:
1" = 50'
Drawn by:
LRL
Checked by:
LRL
Project No.
11420

EXISTING CONDITIONS PLAN
FOR
BELLA CUSTOM HOMES
2969 HORSESHOE TRAIL
CHESTER SPRINGS, PA 19425
WEST VINCENT TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA

SHEET
3
OF 10



TIER III DENSITY OF DEVELOPMENT

MAXIMUM ALLOWABLE DENSITY = 1 DU/120,000 SF (ADJUSTED TRACT ACREAGE)		
MAXIMUM ALLOWABLE LOTS	261,034 S.F.	2.18
NUMBER OF LOTS PROPOSED		2.0
DUS/120,000 SF		0.92
SF/DU		130517.00

TIER III GREENWAY

REQUIRED GREENWAY	AREA (AC)	MULTIPLIER	AREA (AC)
ADJUSTED TRACT ACREAGE	5.99	55%	3.29
WETLANDS	0.378	100%	0.38
FLOODPLAINS	0	100%	0.00
SUBMERGED LANDS	0	100%	0.00
STEEP SLOPES >25%	0.03	100%	0.03
TOTAL REQUIRED GREENWAY			3.7025
PROPOSED GREENWAY			4.9660

GREENWAY AREA

PROPOSED LOT	GREENWAY CALCULATION
LOT 2A	3.155 ACRES (137,431 S.F.)
LOT 2B	1.802 ACRES (78,889 S.F.)
TOTAL	4.966 ACRES (216,320 S.F.)

IMPERVIOUS SURFACES SUMMARY*

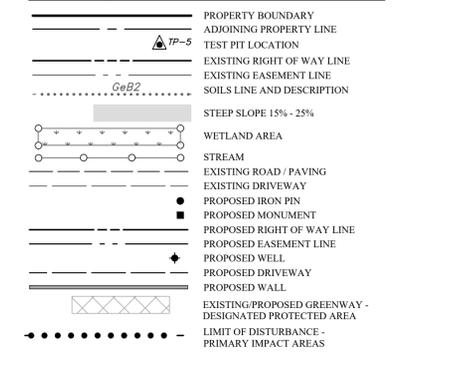
DESCRIPTION	EXISTING	LOT 2A	LOT 2B
DWELLING	0 S.F.	3,600 S.F.	3,600 S.F.
DRIVEWAY PAVING	0 S.F.	1,200 S.F.	1,200 S.F.
GRAVEL DRIVE	1,191 S.F.	0 S.F.	0 S.F.
CONCRETE	0 S.F.	72 S.F.	44 S.F.
DECK	0 S.F.	0 S.F.	0 S.F.
IMPERVIOUS (FUTURE)	0 S.F.	5,000 S.F.	5,000 S.F.
TOTAL	1,191 S.F.	9,872 S.F.	9,844 S.F.

* 2016 ZONING ORDINANCE EXCLUDES DRIVEWAYS AND PUBLIC SIDEWALKS FROM IMPERVIOUS AREA ZONING CALCULATIONS.

ALLOWED USES AND IMPROVEMENTS ON GREENWAY LANDS:

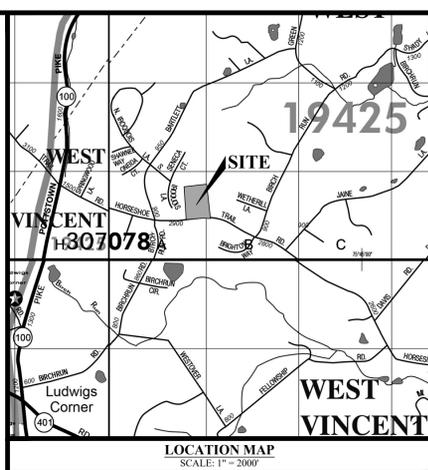
- CONSERVATION OF OPEN LAND IN ITS NATURAL STATE, INCLUDING BUT NOT LIMITED TO WOODLAND, FALLOW FIELD AND MANAGED MEADOW.
- AGRICULTURAL AND HORTICULTURAL USES, INCLUDING RAISING CROPS OR LIVESTOCK; AND AQUACULTURE, INCLUDING RESIDENCES AND ASSOCIATED BUILDINGS THAT ARE SPECIFICALLY NEEDED TO SUPPORT AN ACTIVE, VIABLE AGRICULTURAL OR HORTICULTURAL OPERATION. SPECIFICALLY EXCLUDED ARE INTENSIVE AGRICULTURE, WHOLESALE NURSERIES AND COMMERCIAL LIVESTOCK OPERATIONS INVOLVING SWINE OR POULTRY.
- PASTURELAND FOR HORSES, EXCLUDING COMMERCIAL HACK STABLE OPERATIONS, UNLICENSED EQUESTRIAN FACILITIES AND STRUCTURES, INCLUDING TRAINING AND ENJOYMENT FACILITIES, SHALL BE PERMITTED BUT MAY NOT OCCUPY MORE THAN HALF OF THE MINIMUM REQUIRED GREENWAY LAND, ROOFED EQUESTRIAN AND STRUCTURES SHALL NOT, IN THE AGGREGATE, OCCUPY MORE THAN TWENTY-FIVE (25) PERCENT OF THE MINIMUM REQUIRED GREENWAY LAND.
- SILVICULTURE, IN KEEPING WITH ESTABLISHED STANDARDS FOR SELECTIVE HARVESTING AND SUSTAINED-YIELD FORESTRY.
- NEIGHBORHOOD GREENWAY LAND USES SUCH AS VILLAGE GREENS, COMMONS, PICNIC AREAS, COMMUNITY GARDENS, TRAILS PER SECTION 626 OF THE TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE, AND SIMILAR LOW TO MEDIUM INTENSIVE RECREATIONAL USES SPECIFICALLY EXCLUDING HIGH INTENSITY MOTORIZED OFF-ROAD VEHICLES, RIFLE RANGES, AND OTHER USES SIMILAR IN CHARACTER AND POTENTIAL IMPACT AS DETERMINED BY THE BOARD.
- ACTIVE, MEDIUM INTENSITY RECREATION AREAS, SUCH AS PLAYGROUNDS, PLAYING FIELDS, COURTS, AND BIKEWAYS, PROVIDED SUCH AREAS DO NOT OCCUPY MORE THAN HALF OF THE MINIMUM REQUIRED GREENWAY LAND. PLAYGROUNDS, PLAYING FIELDS AND COURTS SHALL NOT BE LOCATED WITHIN 100 FEET OF ABUTTING PROPERTIES EXCEPT FOR DEVELOPMENT IN DISTRICTS THAT PERMIT MIXED USES, WHERE THIS SETBACK MAY BE REDUCED AT THE DISCRETION OF THE BOARD OF SUPERVISORS. PARKING FACILITIES FOR THE SAME SHALL ALSO BE PERMITTED, PROVIDED THAT THEY GENERALLY BE GRAVEL SURFACED, UNLIMITED, PROPERLY DRAINED, PROVIDE SAFE INGRESS AND EGRESS, AND CONTAIN ADEQUATE PARKING.
- WATER SUPPLY AND SEWAGE DISPOSAL SYSTEMS, AND STORM WATER "BEST MANAGEMENT PRACTICES" (BMPs) FACILITIES, EXCLUDING LAGOONS, STRUCTURES, AND ACCESS AREAS, PROVIDED SUCH PERMITTED FACILITIES COMBINED DO NOT OCCUPY MORE THAN TWENTY-FIVE (25%) OF THE REQUIRED GREENWAY LAND. SEWAGE DISPOSAL FACILITIES ALONE SHALL OCCUPY NO MORE THAN TEN (10%) OF GREENWAY LAND.
- EASEMENTS FOR DRAINAGE, EMERGENCY ACCESS, SEWER OR WATER LINES, OR OTHER PUBLIC PURPOSES.
- UNDERGROUND UTILITY RIGHTS-OF-WAY, ABOVE GROUND UTILITY AND STREET RIGHTS-OF-WAY MAY TRAVERSE GREENWAY AREAS BUT SHALL NOT COUNT TOWARD THE MINIMUM REQUIRED GREENWAY LAND.

LEGEND



SOILS DESCRIPTION

SYMBOL	DESCRIPTION	SLOPE	AVAILABLE WATER CAPACITY	DRAINAGE CLASS	DEPTH TO S.H.W.T.	DEPTH TO BEDROCK	CAPABILITY UNIT	HYDROLOGIC SOIL GROUP	HYDRIC SOIL RATING
CaA	CALIFON LOAM	0% TO 3%	LOW (ABOUT 4.4 INCHES)	MODERATELY WELL DRAINED	ABOUT 6 INCHES TO 36 INCHES	72 INCHES TO 99 INCHES	2w	D	NO
CbB	CALIFON LOAM	0% TO 8%	LOW (ABOUT 3.4 INCHES)	MODERATELY WELL DRAINED	ABOUT 6 INCHES TO 36 INCHES	72 INCHES TO 99 INCHES	6s	D	NO
GbB	GLADSTONE GRAVELLY LOAM	3% TO 8%	MODERATE (ABOUT 8.4 INCHES)	WELL DRAINED	MORE THAN 80 INCHES	60 INCHES TO 80 INCHES	2c	B	NO
GbB	GLADSTONE GRAVELLY LOAM	0% TO 8%	MODERATE (ABOUT 6.9 INCHES)	WELL DRAINED	MORE THAN 80 INCHES	60 INCHES TO 100 INCHES	6s	A	NO

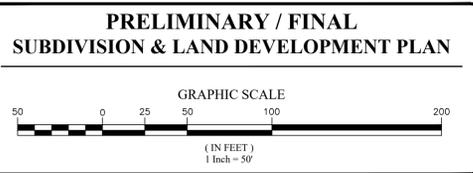


GENERAL NOTES:

- BEING: CHESTER COUNTY UPI A PART OF #25-3-92.1 2969 HORSESHOE TRAIL PLAN OF RECORD, PLAN 204154
- BOUNDARY INFORMATION AND PHYSICAL FEATURES SHOWN PER PHYSICAL FIELD SURVEY PERFORMED BY CHESTER VALLEY ENGINEERS, INC. IN ACCORDANCE WITH PLANS AND DEEDS OF RECORD.
- TOTAL TRACT ACREAGE = 10.00 ACRES.
- ELEVATIONS BASED ON NAVD83 IN ACCORDANCE WITH LIDAR DATA PUBLISHED BY PENNSYLVANIA SPATIAL DATA ACCESS (PASDA).
- THERE IS NO 100 YEAR FLOODPLAIN LINE SHOWN ON THE PLAN, WHICH WAS DETERMINED FROM THE REFERENCE FIRM PANELS, MAP NUMBER 42029C0050G, EFFECTIVE 9/29/2017.
- SOILS INFORMATION TAKEN FROM UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCE CONSERVATION SERVICE.
- SITE GEOLOGY IS CHARACTERIZED AS ggn: GRAPHITIC FELSIC GNEISS, LIGHT TO DARK GRAY AND MEDIUM GRAINED.
- THE WETLANDS SHOWN HEREON WERE DELINEATED BY EVANS MILL ENVIRONMENTAL, LLC AND FIELD LOCATED BY CHESTER VALLEY ENGINEERS, INC.
- SEPTIC TESTING SHOWN HEREON FOR PROPOSED LOT 2B WAS PERFORMED BY EVANS MILL ENVIRONMENTAL, LLC AND FIELD LOCATED BY CHESTER VALLEY ENGINEERS.
- SEPTIC TESTING FOR PROPOSED LOT 2A WAS PERFORMED BY WILLOW RUN CONSULTING AND FIELD LOCATED BY INLAND DESIGN, INC.
- EXISTING LEGAL RIGHT OF WAY OF HORSESHOE TRAIL SHOWN IN ACCORDANCE WITH PENNDOT FORM 889, NO RIGHT OF WAY PLANS AVAILABLE.
- THE SITE IS LOCATED IN THE BIRCH RUN WATERSHED.
- THE PROPERTY IS SERVICED BY ON-LOT SEWER AND PRIVATE WELLS.
- COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND FACILITIES CANNOT BE GUARANTEED. THE CONTRACTOR MUST VERIFY THE LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND/OR FACILITIES PRIOR TO BEGINNING ANY EARTH-MOVING ACTIVITIES.
- THE PURPOSE OF THIS PLAN IS TO CREATE TWO NEW DWELLING LOTS FROM LOT 2, PURSUANT TO THE PROVISIONS OF A MINOR SUBDIVISION IN SECTION 502.2 OF THE WEST VINCENT TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.
- A PENNDOT PERMIT IS REQUIRED FOR THE DRIVEWAY OPENING ONTO HORSESHOE TRAIL. IT IS PROPOSED THAT THE TWO NEW LOTS SHARE THE DRIVEWAY OPENING SINCE IT PROVIDES THE GREATEST SIGHT DISTANCE.
- GREENWAY LANDS ON EACH LOT WILL BE OWNED AND MAINTAINED BY THE LOT OWNER ON WHICH THE GREENWAY LAND RESIDES. SEE THE TABLE OF ALLOWED USES HEREON.
- PERMANENT PROTECTION OF THE GREENWAY AREA SHALL BE RE-ESTABLISHED BY A CONSERVATION EASEMENT OVER EACH LOT AS SHOWN HEREON. WITHIN THE GREENWAY CONSERVATION EASEMENT, CLEARING OF WOODLAND HABITAT SHALL GENERALLY BE PROHIBITED, EXCEPT AS NECESSARY TO CREATE TRAILS, LOW TO MEDIUM RECREATIONAL FACILITIES, AND TO INSTALL SURFACE SEPTIC DISPOSAL SYSTEMS OR SPRAY IRRIGATION FACILITIES. THE DETERMINATION OF THE NECESSITY SHALL LIE WITH THE BOARD OF SUPERVISORS. PERMITTED AND CONDITIONAL USES ON GREENWAY LANDS SHALL BE IN ACCORDANCE WITH ZONING ORDINANCE SECTION 1902. SEE NOTE #17 AND THE TABLE OF ALLOWED USES HEREON.
- THE CLEAR SIGHT TRIANGLE AND AVAILABLE SIGHT DISTANCES SHOWN HEREON ARE MEASURED FROM A POINT 10' FROM THE EDGE OF THE CARTWAY.

OWNER OF RECORD:
PATRICIA MORGERA
1520 STOFF ROAD
DOWNTOWN, PA 19335
PMORGERA@COMCAST.NET

TOTAL LIMIT OF EARTH DISTURBANCE IS 3.10 ACRES
NPDES PERMIT AREA IS THE SAME AS THE PROPERTY BOUNDARY



PRELIMINARY / FINAL SUBDIVISION & LAND DEVELOPMENT PLAN

Date: 10/08/2019
Scale: 1" = 50'
Drawn by: TAJ
Checked by: LRL
Project No: 11420

EXISTING RESOURCE & SITE PLAN ANALYSIS PLAN, PRIMARY IMPACT ANALYSIS, RESOURCE CONSERVATION, AND FIVE-STEP DESIGN PLAN FOR

BELLA CUSTOM HOMES
2969 HORSESHOE TRAIL
CHESTER SPRINGS, PA 19425
WEST VINCENT TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA

SHEET 4 OF 10

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PARCEL NO. 25-3-92.1A | D.B. 10067 | PG. 644

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LINDA R. LAYER
ENGINEER
NOPE 07801
PENNSYLVANIA

No.	Date	Description
1	2019/12/02	REVISED PER ENGINEER'S COMMENT LETTER 2019/11/18
2	2020/01/10	REVISED PER ENGINEER'S COMMENT LETTER 2020/01/09
3	2020/01/31	REVISED PER CCDC COMMENTS



INFLTRATION TEST RESULTS

LOT	TEST DEPTH	INFILTRATION RATE
2A (EXISTING LOT)	52"	1.50 IN/HR
2B (NEW LOT)	54"	0.75 IN/HR

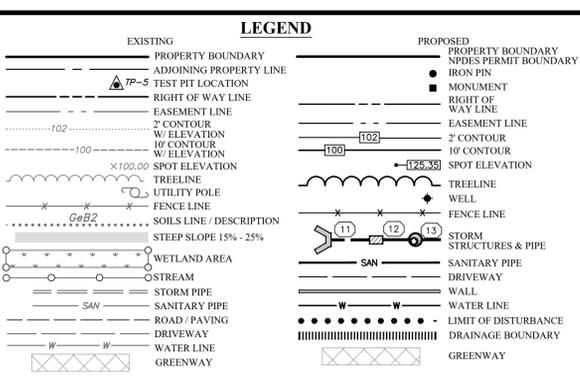
SOILS DESCRIPTION

SYMBL	DESCRIPTION	SLOPE	AVAILABLE WATER CAPACITY	DRAINAGE CLASS	DEPTH TO S.H.W.T.	DEPTH TO BEDROCK	CAPABILITY UNIT	HYDROLOGIC SOIL GROUP	HYDRIC SOIL RATING
CAa	CALIFORN LOAM	0% TO 3%	LOW (ABOUT 4.4 INCHES)	MODERATELY WELL DRAINED	ABOUT 6 INCHES TO 36 INCHES	72 INCHES TO 99 INCHES	2w	D	NO
CMB	CALIFORN LOAM	0% TO 8%	LOW (ABOUT 3.4 INCHES)	MODERATELY WELL DRAINED	ABOUT 6 INCHES TO 36 INCHES	72 INCHES TO 99 INCHES	6w	D	NO
GaB	GLADSTONE GRAVELLY LOAM	3% TO 8%	MODERATE (ABOUT 6.4 INCHES)	WELL DRAINED	MORE THAN 80 INCHES	60 INCHES TO 80 INCHES	2w	B	NO
GB	GLADSTONE GRAVELLY LOAM	0% TO 8%	MODERATE (ABOUT 6.4 INCHES)	WELL DRAINED	MORE THAN 80 INCHES	60 INCHES TO 100 INCHES	6w	A	NO

SUMMARY OF NON-STRUCTURAL BEST MANAGEMENT PRACTICES (BMP'S)

SECTION	DESCRIPTION	PROTECTED AREA (OUTSIDE OF LIMIT OF DISTURBANCE):
5.4.1	PROTECT SENSITIVE / SPECIAL VALUE FEATURES	POI A 3.81 ACRES
5.4.2	PROTECT / CONSERVE / ENHANCE RIPARIAN BUFFERS	POI B 3.21 ACRES
5.6.1	MINIMIZE TOTAL DISTURBED AREAS	

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PCSWM PLAN NOTES

- A BLANKET EASEMENT IS HEREBY GRANTED WITHIN WEST VINCENT TOWNSHIP RIGHT, BUT NOT THE OBLIGATION, TO ENTER THE PROPERTY TO PERFORM ANY REQUIRED PCSWM MAINTENANCE WHICH HAS NOT BEEN PROPERLY PERFORMED IN A TIMELY MANNER. THE HOMEOWNER SHALL BE RESPONSIBLE FOR THE COST OF ANY MAINTENANCE WHICH IS PERFORMED BY THE TOWNSHIP.
- THE STORMWATER MANAGEMENT BMP'S SHOWN ON THIS PLAN ARE PERMANENT FIXTURES AND CANNOT BE ALTERED OR REMOVED WITHOUT THE APPROVAL OF THE MUNICIPALITY.
- NO BMP OR MAN-MADE CONVEYANCE MAY BE USED BY THE OWNER OR OTHERS FOR ANY PURPOSE OTHER THAN ITS INTENDED STORMWATER CONTROL FUNCTION.
- THIS PLAN ALSO SERVES AS THE OPERATION & MAINTENANCE PLAN FOR THIS PROPERTY AND WILL BE RECORDED.
- THE APPLICANT, HIS SUCCESSOR, OR ASSIGNS SHALL MAKE RECORDS OF THE INSTALLATION, AND OF ALL MAINTENANCE AND REPAIRS OF ALL BMP'S, AND SHALL RETAIN THE RECORDS FOR AT LEAST FIFTEEN YEARS. THESE RECORDS SHALL BE SUBMITTED TO THE MUNICIPALITY, IF REQUESTED, IN REPLY TO ANY COMPLAINT.
- AN AS-BUILT PLAN OF THE PROPOSED BMP'S SHALL BE SUBMITTED TO THE MUNICIPALITY IN ACCORDANCE WITH THE STORMWATER ORDINANCE.
- THE APPLICANT ACKNOWLEDGES THAT, PER MUNICIPAL ORDINANCE, IT IS UNLAWFUL TO MODIFY, REMOVE, FILL, LANDSCAPE, ALTER OR IMPAIR THE EFFECTIVENESS OF, OR PLACE ANY STRUCTURE, OTHER VEGETATION, YARD WASTE, BRUSH CUTTINGS, OR OTHER WASTE OR DEBRIS INTO ANY PERMANENT STORMWATER MANAGEMENT BMP OR CONVEYANCE DESCRIBED IN THIS O&M PLAN OR TO ALLOW THE BMP OR CONVEYANCE TO EXIST IN A CONDITION WHICH DOES NOT CONFORM TO THIS O&M PLAN, WITHOUT WRITTEN APPROVAL FROM THE MUNICIPALITY.
- THE OWNER OF EACH BMP AND CONVEYANCE SHALL KEEP ON FILE WITH THE MUNICIPALITY THE NAME, ADDRESS, AND TELEPHONE NUMBER OF THE PERSON RESPONSIBLE FOR MAINTENANCE ACTIVITIES AND IMPLEMENTATION OF THE O&M PLAN. IN THE EVENT OF A CHANGE, NEW INFORMATION SHALL BE SUBMITTED BY THE BMP OF CONVEYANCE OWNER TO THE MUNICIPALITY WITHIN THIRTY (30) WORKING DAYS OF THE CHANGE.

RECYCLING PROCEDURES:
ANTICIPATED CONSTRUCTION WASTE INCLUDES TREES, BRUSH, EROSION CONTROL BMP'S, CONSTRUCTION FENCING, AND BUILDING SUPPLY WASTE (LUMBER, CONCRETE, STONE, SIDING, SHINGLES, ETC.). THE OPERATOR SHALL REMOVE FROM THIS SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANUAL AT 21 PA CODE 261.102, 271.114 EQ. THE CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP, OR DISCHARGE ANY BUILDING MATERIAL OR WASTES AT THIS SITE.

POTENTIAL POLLUTION IDENTIFICATION:
THE GEOLOGICAL FORMATIONS ON SITE ARE SUCH THAT THE POTENTIAL FOR POLLUTION POTENTIAL IS ONLY SLIGHT AND NOT CONSIDERED A CONCERN. THE SOIL EROSION DURING CONSTRUCTION AND UNTIL THE SITE IS STABILIZED COULD POTENTIALLY CAUSE WATER POLLUTION, AND TO MINIMIZE THIS POTENTIAL THE EROSION AND SEDIMENT CONTROL BMP'S ARE TO BE PROVIDED.

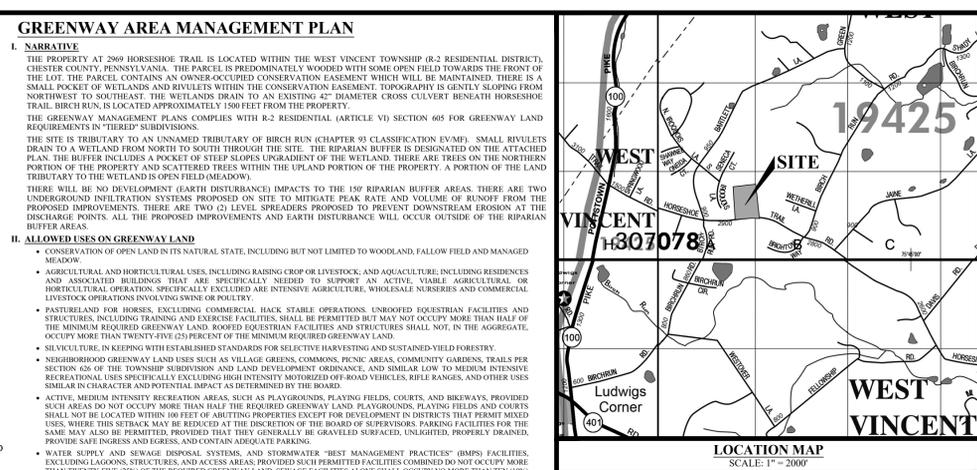
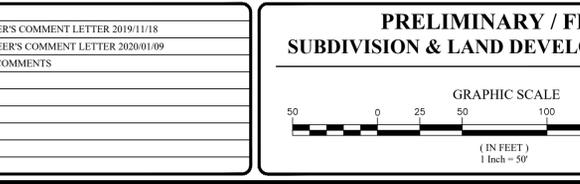
RECEIVING WATERS:
THE SITE IS TRIBUTARY TO AN UNNAMED TRIBUTARY TO BIRCH RUN (CHAPTER 93 CLASSIFICATION EVC (EXCEPTIONAL VALUE) MF). THE TRIBUTARY IS LOCATED APPROXIMATELY 600 FEET FROM THE SITE. THIS SITE IS LOCATED IN AN EXCEPTIONAL VALUE CARE SHOULD BE EXERCISED IN ALL DISTURBANCE ACTIVITIES TO PREVENT DEGRADATION TO THE WATERS OF THE COMMONWEALTH.

LONG TERM BMP OPERATIONS & MAINTENANCE PROCEDURES:
THE INDIVIDUAL LOT OWNERS SHALL BE RESPONSIBLE FOR THE PROPER LONG TERM OPERATION AND MAINTENANCE OF POST CONSTRUCTION STORMWATER MANAGEMENT BMP'S. THE OPERATION AND MAINTENANCE REQUIREMENTS FOR THE PCSWM BMP'S FOR THIS PROJECT INCLUDE THE FOLLOWING:
ON-LOT INFILTRATION BEDS - INFILTRATION BEDS SHALL BE INSPECTED QUARTERLY AND AFTER RAINFALL EVENTS TO ENSURE THAT THEY ARE WORKING PROPERLY AND THAT DEBRIS AND/OR SEDIMENT HAS NOT ENTERED THE SYSTEM. IF THE INSPECTION REVEALS THAT THE SEEPAGE BED HAS BEEN CONTAMINATED WITH SILT, THE SYSTEM SHALL BE REPAIRED OR REPLACED. ACCUMULATED SILT AND DEBRIS THAT HAS DEPOSITED IN THE BOTTOM OF ALL INLETS WITHIN THE SYSTEM WILL BE REMOVED ON A QUARTERLY BASIS. INFLOW AND OUTFLOW POINTS INTO THE INDIVIDUAL ON-LOT INFILTRATION SYSTEMS SHOULD BE KEPT CLEAR OF LEAVES AND OTHER DEBRIS. ANY LEAVES OR OTHER DEBRIS WHICH MAY AFFECT THE PERFORMANCE OF THESE SYSTEMS, ALL DOWNSPOUTS AND OVERFLOW PIPES SHOULD BE KEPT IN GOOD WORKING ORDER.
LEVEL SPREADERS - LEVEL SPREADERS SHALL BE INSPECTED QUARTERLY AND AFTER RAINFALL EVENTS TO ENSURE THAT THEY ARE WORKING PROPERLY AND THAT DEBRIS AND/OR SEDIMENT HAS NOT ENTERED THE SYSTEM. IF THE INSPECTION REVEALS THAT THE LEVEL SPREADER HAS BEEN CONTAMINATED WITH SILT, THE SPREADER SHALL BE REPAIRED OR REPLACED. ACCUMULATED SILT AND DEBRIS THAT HAS DEPOSITED AT THE BOTTOM OF THE LEVEL SPREADER (IN THE PERFORATED PIPE) WILL BE REMOVED ON A QUARTERLY BASIS. THE VEGETATION ALONG THE SURFACE OF THE LEVEL SPREADER SHOULD BE MAINTAINED IN GOOD CONDITION, AND ANY BARE SPOTS RE-VEGETATED AS SOON AS POSSIBLE. ANY ACCUMULATED SEDIMENT SHOULD BE REMOVED AND DISPOSED OF IMMEDIATELY. VEHICLES SHOULD NOT BE PARKED OR DRIVEN OVER THE LEVEL SPREADER, AND CARE SHOULD BE TAKEN TO AVOID EXCESSIVE COMPACTION BY MOWERS.
INLET FILTERS - INLET FILTERS SHALL BE INSPECTED REGULARLY FOR EXCESS DEBRIS, SEDIMENT AND TRASH. THE DEBRIS SHALL BE REMOVED PROMPTLY. THE FILTER SHALL BE WASHED WITH HOSE WATER AND RESET. IF THE FILTER IS DAMAGED, IT MUST BE REPLACED.
CATCH BASIN INLETS - CATCH BASIN INLETS MUST BE INSPECTED REGULARLY FOR ACCUMULATED DEBRIS, EROSION AROUND THE INLET GRATE, AND ANY DAMAGE TO THE STRUCTURE. THE DEBRIS SHALL BE REMOVED QUARTERLY AND THE GRASS AROUND THE INLETS MAINTAINED IN A STABLE CONDITION. ANY DAMAGED INLETS MUST BE REPLACED PROMPTLY.
ALL INSPECTIONS OF THE POST CONSTRUCTION STORMWATER MANAGEMENT BMP'S SHALL BE PERFORMED BY THE APPOINTED REPRESENTATIVE OF THE INDIVIDUAL LOT OWNERS. IF ANY DEFICIENT CONDITIONS ARE FOUND DURING THE INSPECTION A PLAN FOR ADDRESSING THEM SHALL BE PREPARED WITHIN TWO MONTHS AND THE PLAN SHALL BE CARRIED OUT WITHIN SIX MONTHS. UNTIL THE SITE IS STABILIZED AND DURING CONSTRUCTION ACTIVITIES, ALL BMP'S MUST BE MAINTAINED PROPERLY BY THE CONTRACTOR. ALL PERMANENT MAINTENANCE PROCEDURES SHALL BE PERFORMED BY THE INDIVIDUAL LOT OWNERS.

BMP FAILURE NOTES (PER PROTOCOL 2 OF THE BMP MANUAL)
THE TERM 'FAILURE' FOR THE PROPOSED SUBSURFACE INFILTRATION BED SHALL BE DEFINED AS:
1) THE LOSS OF FUNCTIONALITY OF THE PROPOSED OUTLET STRUCTURE, DISCHARGE PIPE, AND LEVEL SPREADER
2) THE LOSS OF STRUCTURAL INTEGRITY OF THE STONE AND PIPES
3) THE ACCUMULATION OF SEDIMENT, TRASH OR DEBRIS IN PERIMETER DRAINAGE STRUCTURES.
4) STANDING WATER IS OBSERVED IN THE BASIN AFTER 72 HOURS.
5) DOWNSTREAM EROSION WHICH IS NOT ABLE TO ESTABLISH.
THE PERMITTEE SHALL MAKE THE NECESSARY REPAIRS TO THE OUTLET STRUCTURE, DISCHARGE PIPING, STONE AND PERFORATED PIPE AS NEEDED. IF STANDING WATER IS OBSERVED AFTER 72 HOURS, CONSULT ENGINEER FOR REMEDIATION OF THE UNDERGROUND BED. ANY ERODED SLOPES SHALL BE SEEDED AND STABILIZED WITH HAY MULCH OR BLANKET.
THE TERM 'FAILURE' FOR THE PROPOSED WATER QUALITY INLETS (FILTER INSERTS) SHALL BE DEFINED AS:
1) DISCOVER EVIDENCE OF DAMAGED FILTER MEDIA
2) DISCOVER EVIDENCE OF THE FILTER MEDIA'S INABILITY TO SUPPORT ACCUMULATED SEDIMENT OR DEBRIS.
THE PERMITTEE SHALL REPAIR BMP FAILURE BY REPLACING THE FILTER MEDIA IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS.

POST CONSTRUCTION STORMWATER MANAGEMENT REPORTING AND RECORD KEEPING
A WRITTEN REPORT DOCUMENTING EACH INSPECTION AND ALL BMP REPORTING AND MAINTENANCE ACTIVITIES MUST BE PROVIDED AS PART OF THE LONG-TERM OPERATION AND MAINTENANCE PROGRAM.
THE POST CONSTRUCTION STORMWATER MANAGEMENT REPORTS, AND MONITORING RECORDS SHALL BE AVAILABLE FOR REVIEW AND INSPECTION BY THE DEPARTMENT OR THE CONSERVATION DISTRICT.

POST CONSTRUCTION STORMWATER MANAGEMENT FINAL CERTIFICATION
THE PERMITTEE SHALL INCLUDE WITHIN THE NOTICE OF TERMINATION 'RECORD DRAWINGS' WITH A FINAL CERTIFICATION STATEMENT FROM A LICENSED PROFESSIONAL, WHICH READS AS FOLLOWS:
"I (NAME) DO HEREBY CERTIFY PERSUANT TO THE PENALTIES OF 18 PA. C.S.A. CHAPTER 4904 TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THE ACCOMPANYING RECORD DRAWINGS ACCURATELY REFLECT THE AS-BUILT CONDITIONS, ARE TRUE AND CORRECT, AND ARE IN CONFORMANCE WITH CHAPTER 102 OF THE RULES AND REGULATIONS OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION AND THAT THE PERSON IDENTIFIED IN THIS SECTION AS BEING RESPONSIBLE FOR THE LONG-TERM OPERATION AND MAINTENANCE OF THE POST CONSTRUCTION STORMWATER MANAGEMENT PLAN, ALL APPROVED PLAN CHANGES AND ACCEPTED CONSTRUCTION PRACTICES."
1. THE PERMITTEE SHALL RETAIN A COPY OF THE RECORD DRAWINGS AS A PART OF THE APPROVED POST CONSTRUCTION STORMWATER MANAGEMENT PLAN.
2. THE PERMITTEE SHALL PROVIDE A COPY OF THE RECORD DRAWINGS AS A PART OF THE APPROVED POST CONSTRUCTION STORMWATER MANAGEMENT PLAN TO THE PERSON IDENTIFIED IN THIS SECTION AS BEING RESPONSIBLE FOR THE LONG-TERM OPERATION AND MAINTENANCE OF THE POST CONSTRUCTION STORMWATER MANAGEMENT BMP'S.



LOCATION MAP
SCALE: 1" = 700'

COMMONWEALTH OF PENNSYLVANIA :
COUNTY OF CHESTER :
ON THE DAY OF A.D. 2019 BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC OF THE COMMONWEALTH OF PENNSYLVANIA, RESIDING IN PERSONALLY APPEARED :
WHO
ACKNOWLEDGED THEMSELVES TO BE THE OWNER OF THE PROPERTY DEPICTED ON THIS PLAN, AND THAT AS SUCH BEING AUTHORIZED TO DO SO, THEY EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED.
(OWNER)
WITNESS MY HAND AND NOTARIAL SEAL, THE DAY AND YEAR AFORESAID.
NOTARY PUBLIC

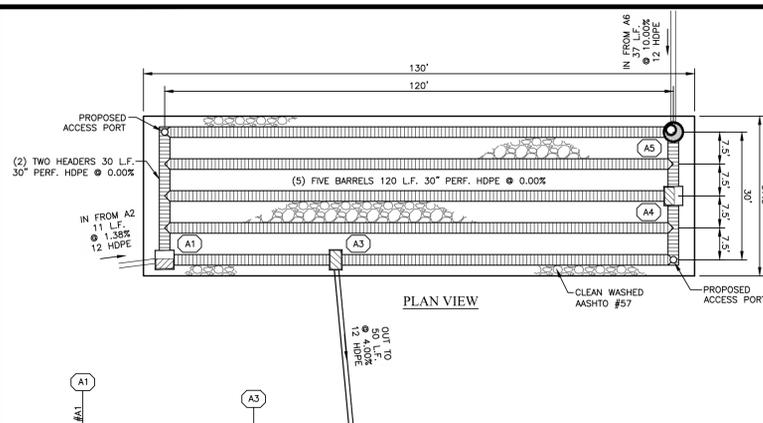
WEST VINCENT TOWNSHIP BOARD OF SUPERVISORS:
AT A MEETING HELD ON THE DAY OF 2019, THE WEST VINCENT TOWNSHIP BOARD OF SUPERVISORS, BY MOTION APPROVED THE FINAL PLAN, AS SHOWN AND DESCRIBED HEREON.
MEMBER DATE
MEMBER DATE
MEMBER DATE

WEST VINCENT TOWNSHIP PLANNING COMMISSION:
AT A MEETING HELD ON THE DAY OF 2019, THE WEST VINCENT TOWNSHIP PLANNING COMMISSION, BY MOTION RECOMMENDED FOR APPROVAL THE FINAL PLAN, AS SHOWN AND DESCRIBED HEREON.
CHAIRPERSON DATE
MEMBER DATE
MEMBER DATE
CHESTER COUNTY PLANNING COMMISSION
PROCESSED AND REVIEWED. A REPORT HAS BEEN PREPARED BY THE CHESTER COUNTY PLANNING COMMISSION IN ACCORDANCE WITH THE MUNICIPALITIES PLANNING CODE.
CERTIFIED THIS DATE FOR THE DIRECTOR
RECORDED IN THE CHESTER COUNTY COURTHOUSE THIS DAY OF 2019, IN PLAN BOOK PAGE

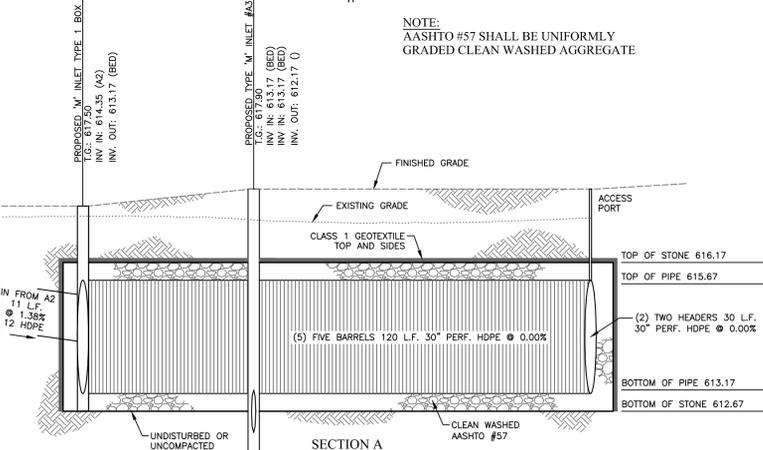
WEST VINCENT TOWNSHIP ENGINEER:
I HEREBY CERTIFY THAT THE PLANS SHOWN HERETO WERE REVIEWED BY THE WEST VINCENT TOWNSHIP ENGINEER.
TOWNSHIP ENGINEER DATE
CERTIFICATE OF CONFORMANCE:
I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE, THESE PLANS ARE IN CONFORMITY WITH ENGINEERING, ZONING, BUILDING, SANITATION AND OTHER APPLICABLE TOWNSHIP ORDINANCES AND REGULATIONS OF WEST VINCENT TOWNSHIP.
ENGINEER DATE

PROJECT SCHEDULE:
LOT 2A IS TO BE CONSTRUCTED STARTING MAY 1, 2020 AND COMPLETED BY MAY 1, 2021.
LOT 2B IS TO BEGIN CONSTRUCTION APPROXIMATELY APRIL 1, 2023 AND BE COMPLETED BY APRIL 1, 2024.
OWNER OF RECORD:
PATRICIA MORGERA
1520 STOUT ROAD
DOWNTOWNING, PA 19335
PMORGERA@COMCAST.NET

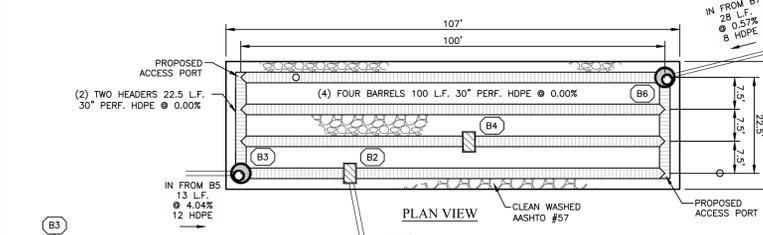
POST CONSTRUCTION STORMWATER MANAGEMENT IMPROVEMENTS PLAN
SHEET 5 OF 10
Date: 10/08/2019
Scale: 1" = 50'
Drawn by: T.H.H.
Checked by: L.R.L.
Project No. 11420



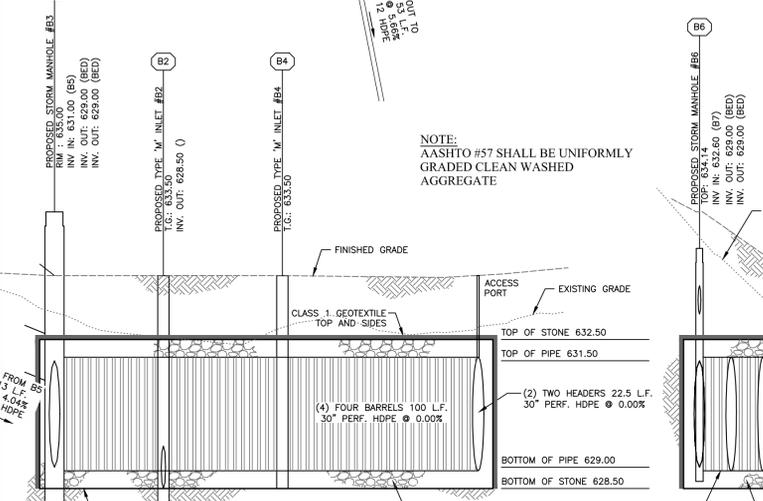
NOTE:
AASHTO #57 SHALL BE UNIFORMLY GRADED CLEAN WASHED AGGREGATE



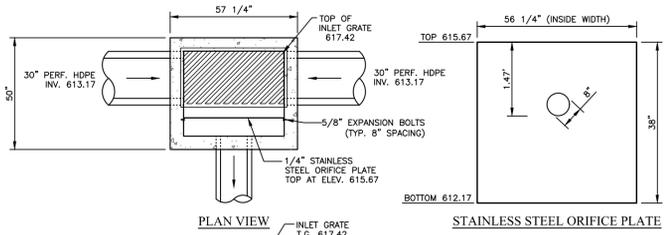
INFILTRATION BED 2A
(NOT TO SCALE)



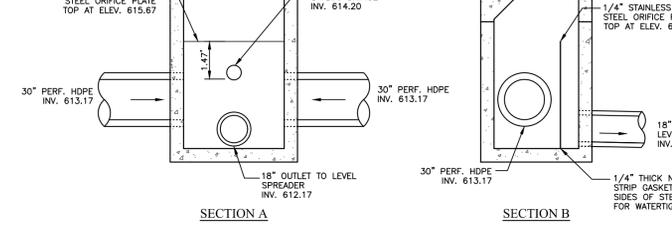
NOTE:
AASHTO #57 SHALL BE UNIFORMLY GRADED CLEAN WASHED AGGREGATE



INFILTRATION BED 2B
(NOT TO SCALE)

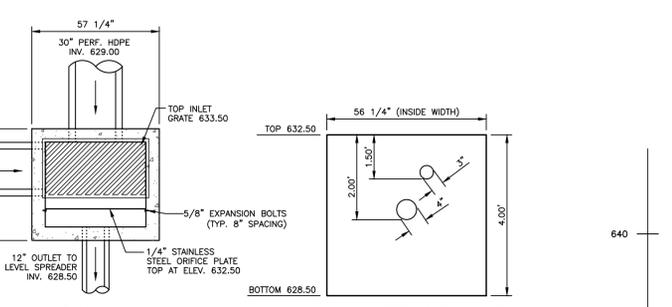


TYPE 1 INLET BOX DETAIL - OUTLET STRUCTURE 2A
(NOT TO SCALE)

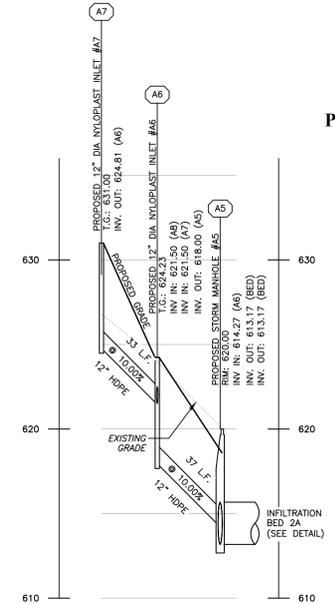
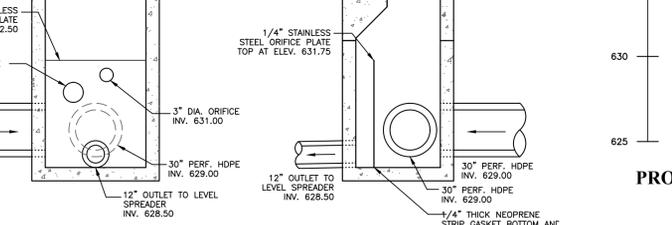


INFILTRATION FACILITY CONSTRUCTION SEQUENCE BMP#2A AND BMP#2B:

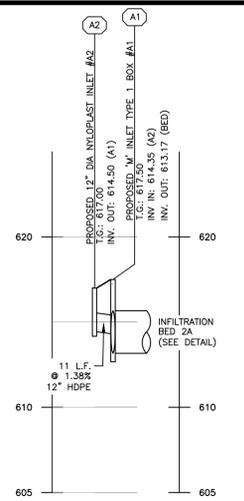
1. STAKE OUT THE LIMITS OF THE FACILITY TO BE INSTALLED.
2. CONSTRUCTION IS TO COMMENCE ONLY IF THERE IS A RAIN FREE FORECAST FOR THE DURATION OF THE INFILTRATION FACILITY CONSTRUCTION PERIOD.
3. PROTECT THE INFILTRATION FACILITY FROM POSSIBLE SILTATION FROM UPSTREAM SOURCES DURING EXCAVATION.
4. EXCAVATE INFILTRATION FACILITY TO THE PROPOSED BOTTOM. EXCAVATION SHALL BE DONE IN A MANNER THAT DOES NOT DISTURB THE SOIL STRUCTURE OF THE RECHARGE ZONE. IF UNFAVORABLE CONDITIONS, SUCH AS GROUNDWATER AND/OR BEDROCK, ARE ENCOUNTERED DURING INSTALLATION OF THE INFILTRATION FACILITY, CONSTRUCTION SHALL CEASE AND THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED. AN ALTERNATIVE SYSTEM SUITABLE TO THE FIELD CONDITIONS SHALL BE DESIGNED AND APPROVED BY THE MUNICIPALITY PRIOR TO FURTHER INSTALLATION BY THE CONTRACTOR.
5. INSTALL GEOTEXTILE FABRIC, INLET, PIPING SYSTEM, AND CLEAN WASHED AGGREGATE MAKING SURE THAT THE PIPING IS WELL BEDDED.
6. CLOSE THE BED BY WRAPPING THE GEOTEXTILE FABRIC PER DETAIL.
7. INSTALL LEVEL SPREADER WITH EROSION CONTROL FABRIC.
8. BACKFILL, SPREAD TOPSOIL AND STABILIZE IMMEDIATELY WITH EROSION CONTROL FABRIC AND/OR PERMANENT SEEDING.
9. INSTALL PERMANENT INLET FILTERS INTO THE INLET GRATES PER MANUFACTURERS SPECIFICATIONS.



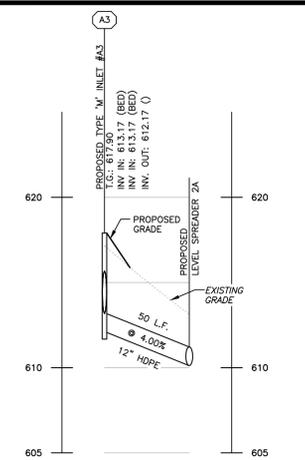
TYPE 1 INLET BOX DETAIL - OUTLET STRUCTURE 2B
(NOT TO SCALE)



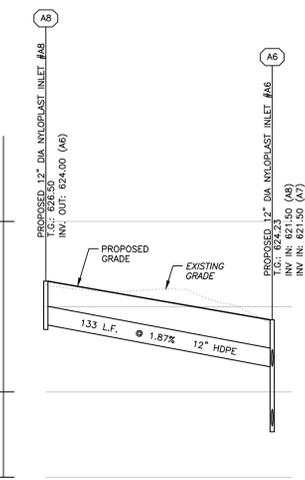
PROFILE FROM INLET #A7 TO MANHOLE #A5
SCALE: (H) 1"=50' (V) 1"=5'



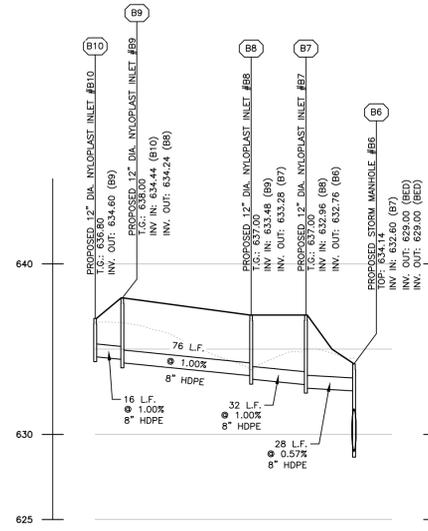
PROFILE FROM INLET #A2 TO #A1
SCALE: (H) 1"=50' (V) 1"=5'



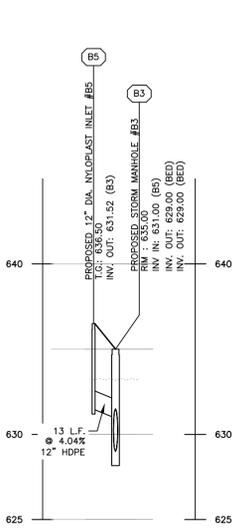
PROFILE FROM INLET #A3 TO L.S. #2A
SCALE: (H) 1"=50' (V) 1"=5'



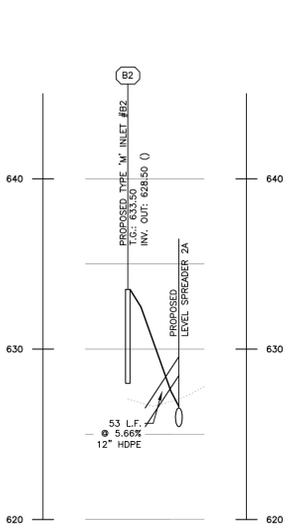
PROFILE FROM INLET #A8 TO #A6
SCALE: (H) 1"=50' (V) 1"=5'



PROFILE FROM INLET #B10 - MANHOLE #B6
SCALE: (H) 1"=50' (V) 1"=5'



PROFILE FROM INLET #B5 TO MANHOLE #B3
SCALE: (H) 1"=50' (V) 1"=5'



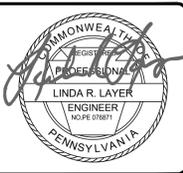
PROFILE FROM INLET #B2 TO L.S. 2B
SCALE: (H) 1"=50' (V) 1"=5'

OWNER OF RECORD:
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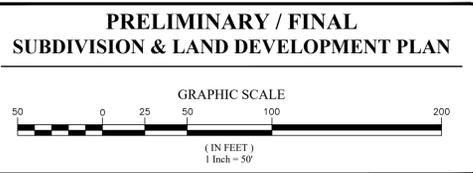
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PENNSYLVANIA ONE CALL SYSTEM
PA. act 172 of 1986 requires three working days notice
Serial Number:
20191573343
PENNSYLVANIA ACT 187 REQUIREMENTS:
Inland Design, LLC does not guarantee the accuracy of the location for existing subsurface utility structures shown on the plans, nor does Inland Design, LLC guarantee that all subsurface structures are shown. The contractor shall verify the location and elevation of all underground utilities and structures before the start of work.

INLAND DESIGN
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No.	Date:	Description:
1	2019/12/02	REVISED PER ENGINEER'S COMMENT LETTER 2019/11/18
2	2020/01/10	REVISED PER ENGINEER'S COMMENT LETTER 2020/01/09
3	2020/01/31	REVISED PER CCDC COMMENTS



Date: 10/08/2019
Scale: AS NOTED
Drawn by: TAH
Checked by: LRL
Project No. 11420

POST CONSTRUCTION STORMWATER MANAGEMENT
DETAILS-1 FOR
BELLA CUSTOM HOMES
2969 HORSESHOE TRAIL
CHESTER, CHESTER COUNTY, PA 19425
WEST VINCENT TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA

SHEET
6
OF 10

CONSTRUCTION SEQUENCE LOT 2A

AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES (INCLUDING CLEARING AND GRUBBING), THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, LOCAL COUNTY CONSERVATION DISTRICT REPRESENTATIVES, THE EAS PLAN PREPARER, AND THE PCSM PLAN PREPARER TO AN ON-SITE PRE-CONSTRUCTION MEETING.

UPON INSTALLATION OR STABILIZATION OF ALL PERIMETER SEDIMENT CONTROL BMPs AND AT LEAST 3 DAYS PRIOR TO PROCEEDING WITH THE BULK EARTH DISTURBANCE ACTIVITIES, THE PERMITTEE OR CO-PERMITTEE SHALL PROVIDE NOTIFICATION TO THE TOWNSHIP.

AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.

ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED BY THE TOWNSHIP PRIOR TO IMPLEMENTATION. EACH STEP OF THE SEQUENCE SHALL BE COMPLETED BEFORE PROCEEDING TO THE NEXT STEP, EXCEPT WHERE NOTED.

PRIOR TO EARTH DISTURBANCE ACTIVITY DESCRIBED IN ANY STEP OF THE CONSTRUCTION SEQUENCE, CLEAR AND GRUB AND STRIP TOPSOIL IN ONLY THAT AREA DESCRIBED IN EACH STAGE. STOCKPILE TOPSOIL IN THE DESIGNATED LOCATIONS.

UPON COMPLETION OR TEMPORARY CESSATION OF EARTH DISTURBANCE ACTIVITY, OR ANY STAGE THEREOF, THE PROJECT SITE SHALL BE IMMEDIATELY STABILIZED WITH THE APPROPRIATE TEMPORARY OR PERMANENT STABILIZATION.

IF UNFAVORABLE CONDITIONS ARE ENCOUNTERED DURING THE INSTALLATION OF THE INFILTRATION SYSTEMS AND ALL OTHER STORMWATER BMPs (I.E. GROUNDWATER AND/OR BEDROCK), THE OWNER/ENGINEER SHALL BE CONTACTED IMMEDIATELY TO DETERMINE IF THE INFILTRATION SYSTEMS SHOULD BE RELOCATED TO A MORE SUITABLE LOCATION ON THE SITE.

- FIELD MARK LIMITS OF DISTURBANCE PRIOR TO EARTHMOVING ACTIVITIES.
- INSTALL ORANGE CONSTRUCTION FENCE AROUND SEWAGE DISPOSAL FIELD AND INFILTRATION BED. CONSTRUCTION VEHICLES ARE NOT PERMITTED IN THE AREAS OF THE SEWAGE DISPOSAL FIELD AND INFILTRATION BED.
- INSTALL THE STABILIZED CONSTRUCTION ENTRANCE WITH TIRE WASH AND BROAD BASED MIP EXTENDING TO COMPOST FILTER SOCK DISCHARGE BERM.
- INSTALL COMPOST FILTER SOCK AS SHOWN ON THE PLAN PRIOR TO ANY EARTH MOVING ACTIVITIES.
- STRIP TOPSOIL FROM DRIVEWAY AND STOCKPILE APPROPRIATELY.
- CESSATION OF ACTIVITY FOR 4 DAYS OR LONGER LONGER REQUIRES TEMPORARY STABILIZATION.
- ROUGH GRADE DRIVEWAY AND PLACE STONE BASE ON DRIVEWAY. INSTALL BROAD BASED DIPS IN LOCATIONS SHOWN ON PLAN.
- ONCE DRIVEWAY IS STABILIZED, ROUGH GRADE HOUSE SITE. CONTRACTOR SHALL GUARANTEE FLOW IS DIRECTED AWAY FROM THE BUILDING FOUNDATION AND WALLS.
- PROCEED WITH THE BUILDING CONSTRUCTION AND INSTALL UTILITIES TO THE NEW DWELLINGS, INCLUDING STORM SEWER PIPING AND THE ON-LOT SEWAGE DISPOSAL SYSTEM. THE DISPOSAL FIELD SHALL BE PROTECTED FROM VEHICLE TRAFFIC BEFORE DURING AND AFTER CONSTRUCTION. INSTALL TEMPORARY INLET FILTERS.
- EXCAVATE BASEMENT FOUNDATIONS FOR PROPOSED STRUCTURES.
- CONSTRUCT FOUNDATION AND BASEMENT WALLS. BACKFILL WALLS AS SOON AS PRACTICAL.
- COMPLETE FINAL GRADING AROUND HOUSE AND RESPREAD TOPSOIL IMMEDIATELY STABILIZE WITH PERMANENT SEEDING.
- INSTALL COMPOST FILTER BLANKETS (FILTREXX LOCKDOWN NETTING) ON DISTURBED AREAS, WHERE SHOWN ON PLAN.
- RESPREAD TOPSOIL ON REMAINING GRASSSED AREAS AND STABILIZE IMMEDIATELY WITH PERMANENT SEED AND MULCH.
- NOTE: AREAS TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES (6 TO 12 INCHES ON COMPACTED SOILS) PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM OF 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING.

- CONSTRUCT INFILTRATION BASIN 2A ****CRITICAL STAGE**** A LICENSED ENGINEER OR DESIGNEE SHOULD BE PRESENT TO OBSERVE AND VERIFY INSTALLATION OF INFILTRATION BASIN #2A PER NOTED CRITICAL STAGES.
 - REFER TO THE SEPARATE CONSTRUCTION SEQUENCE ON SHEET 6.
 - CONTRACTOR SHOULD ENSURE THAT NO RUNOFF IS ALLOWED TO ENTER THE BASIN DURING CONSTRUCTION. ONLY AFTER THE SITE IS COMPLETELY STABILIZED SHOULD RUNOFF BE INTRODUCED TO THE FACILITY.

- INSTALL TEMPORARY INLET PROTECTION. TEMPORARY INLET PROTECTION SHALL REMAIN IN PLACE UNTIL FINAL STABILIZATION HAS BEEN ACHIEVED.
- FINE GRADE THE DRIVEWAY AND PARKING AREA.
- INSTALL BASE COURSE AND BINDER COURSE FOR THE DRIVEWAY AND PARKING EXTEND DRIVEWAY TO LOT 2B PROPERTY LINE. INSTALL 2" WIDE STONE ALONG DRIVEWAY TRENCH WHERE SHOWN ON PLAN.
- FINE GRADE ALL PREVIOUSLY DISTURBED AREAS THAT ARE READY FOR FINAL STABILIZATION AND STABILIZE IMMEDIATELY WITH SEEDING AND HAY OR STRAW MULCH CONSISTENT WITH IMMEDIATE STABILIZATION CRITERIA.
- COLLECT ALL SILT AND SEDIMENT DEPOSITS IN EROSION CONTROL DEVICES AND PLACE ON SITE IN NON-ERODIBLE AREAS AND PERMANENTLY STABILIZE ALL DISTURBED AREAS. TEMPORARY EROSION CONTROLS MAY NOT BE REMOVED UNTIL STABILIZATION IS ATTAINED. (70% UNIFORM COVERAGE OF A PERENNIAL VEGETATIVE SPECIES). NO STORMWATER SHALL BE PERMITTED TO ENTER INFILTRATION BMP AREA UNTIL THE CONTRIBUTING DRAINAGE AREA ACHIEVES 70% OF PERMANENT SITE STABILIZATION.
- BEGIN INSTALLATION OF FINAL SEEDING AND LANDSCAPING.
- INSTALL PAVEMENT WEARING COURSE.

- UPON STABILIZATION OF ALL DISTURBED AREAS, REMOVE REMAINING SEDIMENT BARRIERS AND CONTROLS AND UNBLOCK ALL INLETS. IMMEDIATELY STABILIZE AREAS DISTURBED BY REMOVAL PROCESS IN ACCORDANCE WITH PERMANENT SEED AND MULCH SPECIFICATIONS. COLLECT ALL SILT AND SEDIMENT DEPOSITS IN EROSION CONTROL DEVICES AND PACE ON SITE IN NON-ERODIBLE AREAS AND PERMANENTLY STABILIZE ALL DISTURBED AREAS.
- INSTALL PERMANENT WATER QUALITY INLETS AS NOTED ON THE POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN (SHEET 11). ****CRITICAL STAGE**** A LICENSED ENGINEER OR DESIGNEE SHOULD BE PRESENT TO OBSERVE AND VERIFY INSTALLATION OF THE WATER QUALITY INLETS PER NOTED CRITICAL STAGES.
 - REFER TO THE SEPARATE CONSTRUCTION SEQUENCE ON SHEET 10.

- ONCE ALL TRIBUTARY AREAS ARE STABILIZED, REMOVE ANY REMAINING EROSION CONTROLS AND PERMANENTLY STABILIZE ALL AREAS DISTURBED DURING THE REMOVAL PROCESS. A SITE INSPECTION AND APPROVAL BY THE CHESTER COUNTY CONSERVATION DISTRICT IS REQUIRED BEFORE REMOVAL OF TEMPORARY EAS CONTROLS.
- ALL PCSM BMPs MUST BE INSPECTED TO ENSURE THEY HAVEN'T BEEN IMPACTED DURING CONSTRUCTION ACTIVITIES. ****CRITICAL STAGE**** CONTACT ENGINEER FOR A SITE ENGINEERING INSPECTION FOR ALL PCSM BMPs.
- PREPARE AS-BUILT PLANS, SUBMIT A PARTIAL NOTICE OF TERMINATION (NOT) TO THE COUNTY CONSERVATION DISTRICT ONCE ALL TEMPORARY EAS BMPs HAVE BEEN REMOVED AND THE ENTIRE PROJECT SITE IS PERMANENTLY STABILIZED.

CONSTRUCTION SEQUENCE LOT 2B

AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES (INCLUDING CLEARING AND GRUBBING), THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, LOCAL COUNTY CONSERVATION DISTRICT REPRESENTATIVES, THE EAS PLAN PREPARER, AND THE PCSM PLAN PREPARER TO AN ON-SITE PRE-CONSTRUCTION MEETING.

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PRIOR TO EARTH DISTURBANCE ACTIVITY DESCRIBED IN ANY STEP OF THE CONSTRUCTION SEQUENCE, CLEAR AND GRUB AND STRIP TOPSOIL IN ONLY THAT AREA DESCRIBED IN EACH STAGE. STOCKPILE TOPSOIL IN THE DESIGNATED LOCATIONS.

UPON COMPLETION OR TEMPORARY CESSATION OF EARTH DISTURBANCE ACTIVITY, OR ANY STAGE THEREOF, THE PROJECT SITE SHALL BE IMMEDIATELY STABILIZED WITH THE APPROPRIATE TEMPORARY OR PERMANENT STABILIZATION.

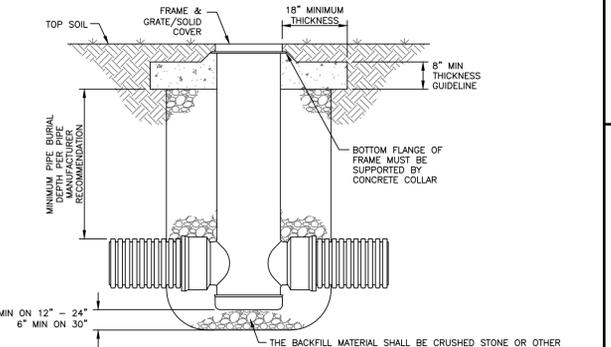
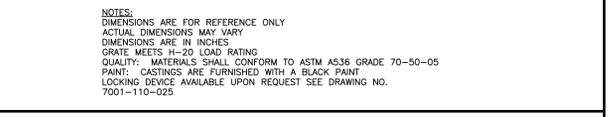
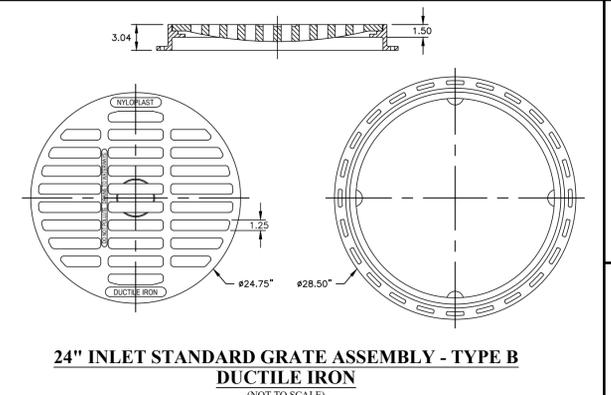
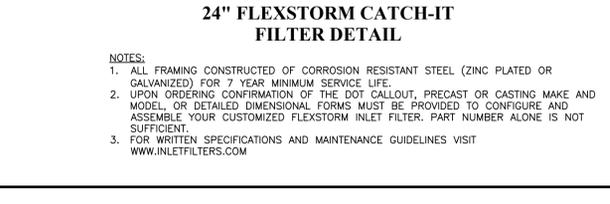
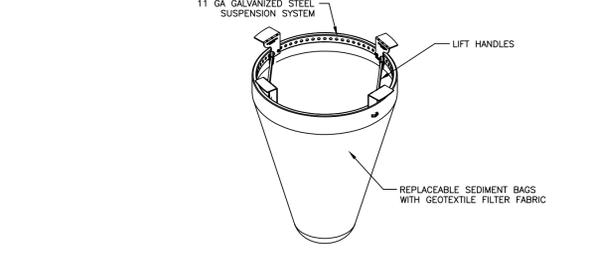
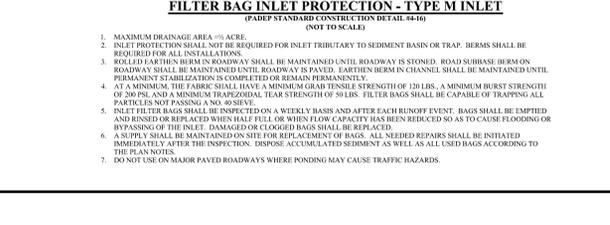
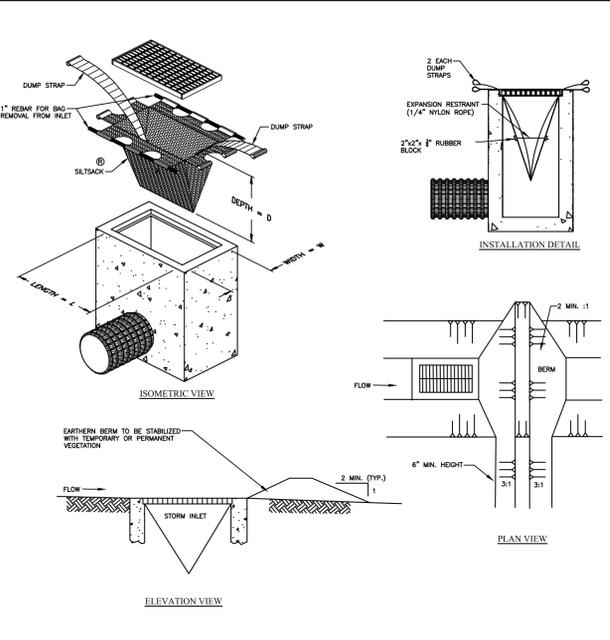
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- INSTALL THE STABILIZED CONSTRUCTION ENTRANCE WITH TIRE WASH. CONTRACTOR SHALL TAKE GREAT CARE TO AVOID TRACKING DEBRIS INTO LOT 2A.
- INSTALL COMPOST FILTER SOCK AS SHOWN ON THE PLAN PRIOR TO ANY EARTH MOVING ACTIVITIES.
- STRIP TOPSOIL FROM DRIVEWAY AND STOCKPILE APPROPRIATELY.
- CESSATION OF ACTIVITY FOR 4 DAYS OR LONGER LONGER REQUIRES TEMPORARY STABILIZATION.
- ROUGH GRADE DRIVEWAY AND PLACE STONE BASE ON DRIVEWAY.
- ONCE DRIVEWAY IS STABILIZED, ROUGH GRADE HOUSE SITE.
- PROCEED WITH THE BUILDING CONSTRUCTION AND INSTALL UTILITIES TO THE NEW DWELLINGS, INCLUDING STORM SEWER PIPING AND ON-LOT SEWAGE DISPOSAL SYSTEM. THE DISPOSAL FIELD SHALL BE PROTECTED FROM VEHICLE TRAFFIC BEFORE DURING AND AFTER CONSTRUCTION. INSTALL TEMPORARY INLET FILTERS.
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- CONSTRUCT FOUNDATION AND BASEMENT WALLS. BACKFILL WALLS AS SOON AS PRACTICAL.
- COMPLETE FINAL GRADING AROUND HOUSE AND RESPREAD TOPSOIL IMMEDIATELY STABILIZE WITH PERMANENT SEEDING. CONTRACTOR SHALL GUARANTEE FLOW IS DIRECTED AWAY FROM THE BUILDING FOUNDATION AND WALLS.
- INSTALL COMPOST FILTER BLANKETS (FILTREXX LOCKDOWN NETTING) ON DISTURBED AREAS, WHERE SHOWN ON PLAN.
- RESPREAD TOPSOIL ON REMAINING GRASSSED AREAS AND STABILIZE IMMEDIATELY WITH PERMANENT SEED AND MULCH.
- NOTE: AREAS TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES (6 TO 12 INCHES ON COMPACTED SOILS) PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM OF 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING.

- CONSTRUCT INFILTRATION BASIN 2B ****CRITICAL STAGE**** A LICENSED ENGINEER OR DESIGNEE SHOULD BE PRESENT TO OBSERVE AND VERIFY INSTALLATION OF INFILTRATION BASIN #2B PER NOTED CRITICAL STAGES.
 - REFER TO THE SEPARATE CONSTRUCTION SEQUENCE ON SHEET 6.
 - CONTRACTOR SHOULD ENSURE THAT NO RUNOFF IS ALLOWED TO ENTER THE BASIN DURING CONSTRUCTION. ONLY AFTER THE SITE IS COMPLETELY STABILIZED SHOULD RUNOFF BE INTRODUCED TO THE FACILITY.

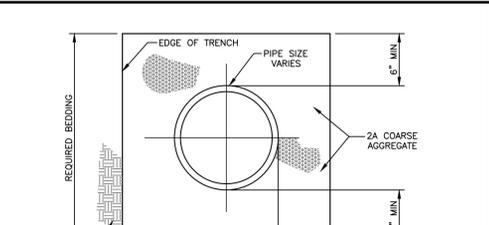
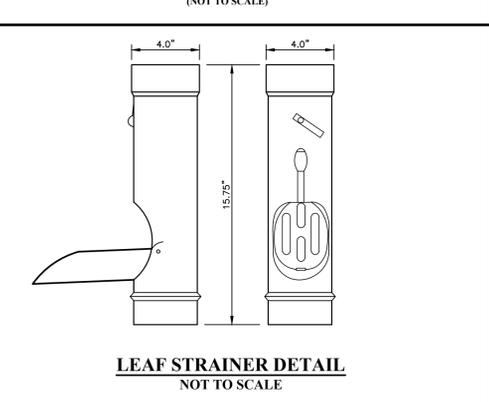
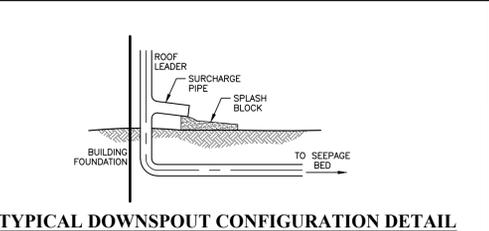
- FINE GRADE THE DRIVEWAY AND PARKING AREA.
- INSTALL BASE COURSE AND BINDER COURSE FOR THE DRIVEWAY AND PARKING
- FINE GRADE ALL PREVIOUSLY DISTURBED AREAS THAT ARE READY FOR FINAL STABILIZATION AND STABILIZE IMMEDIATELY WITH SEEDING AND HAY OR STRAW MULCH CONSISTENT WITH IMMEDIATE STABILIZATION CRITERIA.
- COLLECT ALL SILT AND SEDIMENT DEPOSITS IN EROSION CONTROL DEVICES AND PLACE ON SITE IN NON-ERODIBLE AREAS AND PERMANENTLY STABILIZE ALL DISTURBED AREAS. TEMPORARY EROSION CONTROLS MAY NOT BE REMOVED UNTIL STABILIZATION IS ATTAINED. (70% UNIFORM COVERAGE OF A PERENNIAL VEGETATIVE SPECIES). NO STORMWATER SHALL BE PERMITTED TO ENTER INFILTRATION BMP AREA UNTIL THE CONTRIBUTING DRAINAGE AREA ACHIEVES 70% OF PERMANENT SITE STABILIZATION.
- BEGIN INSTALLATION OF FINAL SEEDING AND LANDSCAPING. THE CONTRACTOR SHALL REPAIR ANY DAMAGED DONE TO THE DRIVEWAY SURFACES ON LOT 2A.
- UPON STABILIZATION OF ALL DISTURBED AREAS, REMOVE REMAINING SEDIMENT BARRIERS AND CONTROLS AND UNBLOCK ALL INLETS. IMMEDIATELY STABILIZE AREAS DISTURBED BY REMOVAL PROCESS IN ACCORDANCE WITH PERMANENT SEED AND MULCH SPECIFICATIONS. COLLECT ALL SILT AND SEDIMENT DEPOSITS IN EROSION CONTROL DEVICES AND PACE ON SITE IN NON-ERODIBLE AREAS AND PERMANENTLY STABILIZE ALL DISTURBED AREAS.
- INSTALL PERMANENT WATER QUALITY INLETS AS NOTED ON THE POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN (SHEET 11). ****CRITICAL STAGE**** A LICENSED ENGINEER OR DESIGNEE SHOULD BE PRESENT TO OBSERVE AND VERIFY INSTALLATION OF THE WATER QUALITY INLETS PER NOTED CRITICAL STAGES.
 - REFER TO THE SEPARATE CONSTRUCTION SEQUENCE ON SHEET 10.

- ONCE ALL TRIBUTARY AREAS ARE STABILIZED, REMOVE ANY REMAINING EROSION CONTROLS AND PERMANENTLY STABILIZE ALL AREAS DISTURBED DURING THE REMOVAL PROCESS. A SITE INSPECTION AND APPROVAL BY THE CHESTER COUNTY CONSERVATION DISTRICT IS REQUIRED BEFORE REMOVAL OF TEMPORARY EAS CONTROLS.
- ALL PCSM BMPs MUST BE INSPECTED TO ENSURE THEY HAVEN'T BEEN IMPACTED DURING CONSTRUCTION ACTIVITIES. ****CRITICAL STAGE**** CONTACT ENGINEER FOR A SITE ENGINEERING INSPECTION FOR ALL PCSM BMPs.
- PREPARE AS-BUILT PLANS, SUBMIT THE FINAL NOTICE OF TERMINATION (NOT) TO THE COUNTY CONSERVATION DISTRICT ONCE ALL TEMPORARY EAS BMPs HAVE BEEN REMOVED AND THE ENTIRE PROJECT SITE IS PERMANENTLY STABILIZED.



INLETS REQUIRING PERMANENT FILTERS

LOT NO.	INLET NO.	DESCRIPTION
LOT 2A	A1	PROPOSED 'M' INLET TYPE 1 BOX
	A2	PROPOSED 12" DIA. NYLOPLAST INLET
	A3	PROPOSED 'M' INLET
	A4	PROPOSED 'M' INLET TYPE 1 BOX
	A6	PROPOSED 12" DIA. NYLOPLAST INLET
	A8	PROPOSED 12" DIA. NYLOPLAST INLET
LOT 2B	B2	PROPOSED 'M' INLET
	B4	PROPOSED 'M' INLET
	B5	PROPOSED 12" DIA. NYLOPLAST INLET
	B10	PROPOSED 12" DIA. NYLOPLAST INLET



CRITICAL STAGES:

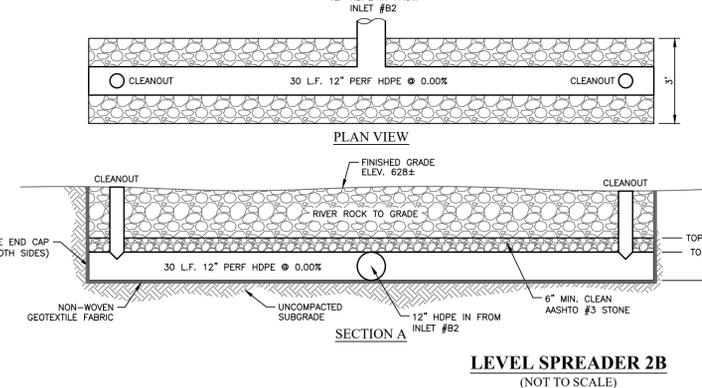
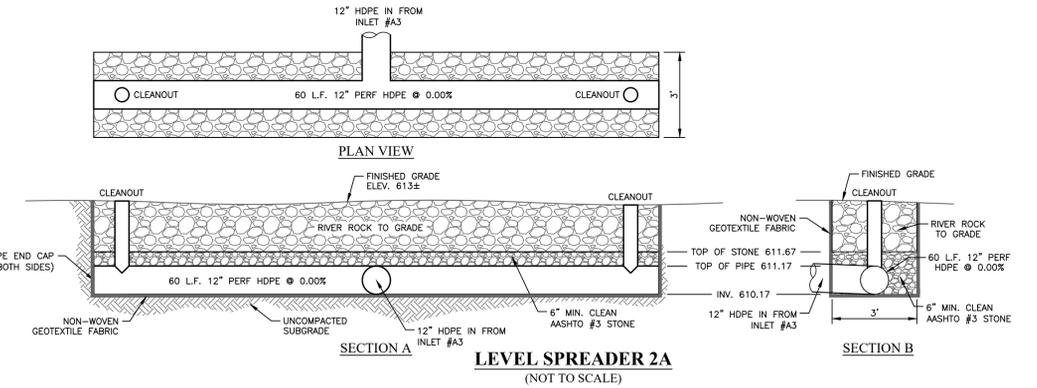
THE DEP CHAPTER 102 REGULATIONS WHICH BECAME EFFECTIVE NOVEMBER 19, 2010 REQUIRE A LICENSED PROFESSIONAL OR HIS/HER DESIGNEE BE PRESENT ON-SITE TO OBSERVE, INSPECT AND SIGN-OFF ON THE CRITICAL STAGES OF THE POST CONSTRUCTION STORMWATER MANAGEMENT PLAN (PCSM) IMPLEMENTATION AND FACILITY INSTALLATION. THE LICENSED PROFESSIONAL OR DESIGNEE SHALL BE PRESENT ON-SITE FOR THE FOLLOWING CRITICAL STAGES OF THE PCSM PLAN IMPLEMENTATION:

- INFILTRATION BED CONSTRUCTION (BMP 64.3)
- LEVEL SPREADER CONSTRUCTION
- FINAL BMP INSTALLATION INSPECTION

PCSWM O&M RESPONSIBLE PARTY:

- UNTIL THE PERMITTEE OR CO-PERMITTEE HAS RECEIVED WRITTEN APPROVAL OF A NOTICE OF TERMINATION, THE PERMITTEE OR CO-PERMITTEE WILL REMAIN RESPONSIBLE FOR COMPLIANCE WITH THE PERMIT TERMS AND CONDITIONS INCLUDING LONG-TERM OPERATION AND MAINTENANCE OF ALL PCSWM BMPs ON THE PROJECT SITE AND IS RESPONSIBLE FOR VIOLATIONS OCCURRING ON THE PROJECT SITE.
- THE OWNER SHALL BE RESPONSIBLE FOR LONG-TERM OPERATION AND MAINTENANCE OF PCSWM BMPs UNLESS A DIFFERENT PERSON IS IDENTIFIED IN THE NOTICE OF TERMINATION AND HAS AGREED TO LONG-TERM OPERATION AND MAINTENANCE OF PCSWM BMPs.
- FOR ANY PROPERTY CONTAINING A PCSWM BMP, THE PERMITTEE OR CO-PERMITTEE SHALL RECORD AN INSTRUMENT WITH THE RECORDER OF DEEDS WHICH WILL ASSURE DISCLOSURE OF THE PCSWM BMP AND THE RELATED OBLIGATIONS IN THE ORDINARY COURSE OF A TITLE SEARCH OF THE SUBJECT PROPERTY. THE RECORDED INSTRUMENT MUST IDENTIFY THE PCSWM BMP, PROVIDE FOR NECESSARY ACCESS RELATED TO LONG-TERM OPERATION AND MAINTENANCE FOR PCSWM BMPs AND PROVIDE NOTICE THAT THE RESPONSIBILITY FOR LONG-TERM OPERATION AND MAINTENANCE OF THE PCSWM BMP IS A COVENANT THAT RUNS WITH THE LAND THAT IS BINDING UPON AND ENFORCEABLE BY SUBSEQUENT GRANTEEES, AND PROVIDE PROOF OF FILING WITH THE NOTICE OF TERMINATION UNDER § 102.70(6) (RELATING TO PERMIT TERMINATION).
- THE PERSON RESPONSIBLE FOR PERFORMING LONG-TERM OPERATION AND MAINTENANCE MAY ENTER INTO AN AGREEMENT WITH ANOTHER PERSON INCLUDING A CONSERVATION DISTRICT, NONPROFIT ORGANIZATION, AUTHORITY, PRIVATE CORPORATION OR OTHER PERSON, TO TRANSFER THE RESPONSIBILITY FOR PCSWM BMPs OR TO PERFORM LONG-TERM OPERATION AND MAINTENANCE AND PROVIDE NOTICE THEREOF TO THE DEPARTMENT.
- A PERMITTEE OR CO-PERMITTEE THAT FAILS TO TRANSFER LONG-TERM OPERATION AND MAINTENANCE OF THE PCSWM BMP OR OTHERWISE FAILS TO COMPLY WITH THIS REQUIREMENT SHALL REMAIN JOINTLY AND SEVERALLY RESPONSIBLE WITH THE LANDOWNER FOR LONG-TERM OPERATION AND MAINTENANCE OF THE PCSWM BMPs LOCATED ON THE PROPERTY.
- THE LONG TERM OPERATION AND MAINTENANCE OF THE ON-LOT BMPs SHALL BE THE RESPONSIBILITY OF THE INDIVIDUAL LOT OWNERS. THE OPERATION AND MAINTENANCE OF THE DRIVEWAY TO LOT 2B SHALL BE MAINTAINED BY THE OWNER OF LOT 2B. THE MAINTENANCE OF THE SHARED PORTION OF THE DRIVEWAY SHALL BE SHARED BY BOTH LOT OWNERS AS SET FORTH IN THE ACCESS AND MAINTENANCE AGREEMENTS. AN EASEMENT FOR LOT 2B FOR A PORTION OF DRIVEWAY IMPERVIOUS AREA DRAINING TO BMP 2A IS PROPOSED.

OWNER OF RECORD:
PATRICIA MORGERA
1520 STOFF ROAD
DOWNTOWN, PA 19335
PMORGERA@COMCAST.NET



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Civil Engineers, Surveyors & Land Development Consultants
16 Hagerty Blvd. Phone: (484) 947-2928
West Chester, PA 19382 Fax: (484) 947-2946
www.InlandDesign.net Info@InlandDesign.net

REVISIONS

No.	Date:	Description:
1	2019/12/02	REVISED PER ENGINEER'S COMMENT LETTER 2019/11/18
2	2020/01/10	REVISED PER ENGINEER'S COMMENT LETTER 2020/01/09
3	2020/01/31	REVISED PER CCDD COMMENTS

PRELIMINARY / FINAL
SUBDIVISION & LAND DEVELOPMENT PLAN

GRAPHIC SCALE
50 0 25 50 100 200
(IN FEET)
1 inch = 50'

Date: **10/08/2019**
Scale: **1" = 50'**
Drawn by:
Checked by:
Project No. **11420**

POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS-2 FOR
BELLA CUSTOM HOMES
2969 HORSESHOE TRAIL
CHESTER CHESTER, PA 19425
WEST VINCENY TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA

SHEET
7
OF 10



SOILS DESCRIPTION

SYMBOL	DESCRIPTION	SLOPE	AVAILABLE WATER CAPACITY	DRAINAGE CLASS	DEPTH TO S.H.W.T.	DEPTH TO BEDROCK	CAPABILITY UNIT	HYDROLOGIC SOIL GROUP	HYDRIC SOIL RATING
CAa	CALIFORN LOAM	0% TO 3%	LOW (ABOUT 4.4 INCHES)	MODERATELY WELL DRAINED	ABOUT 6 INCHES TO 36 INCHES	72 INCHES TO 99 INCHES	2w	D	NO
CBb	CALIFORN LOAM	0% TO 8%	LOW (ABOUT 3.4 INCHES)	MODERATELY WELL DRAINED	ABOUT 6 INCHES TO 36 INCHES	72 INCHES TO 99 INCHES	6s	D	NO
G4b	GLADSTONE GRAVELLY LOAM	3% TO 8%	MODERATE (ABOUT 8.4 INCHES)	WELL DRAINED	MORE THAN 80 INCHES	60 INCHES TO 80 INCHES	2c	B	NO
GBb	GLADSTONE GRAVELLY LOAM	0% TO 8%	MODERATE (ABOUT 6.9 INCHES)	WELL DRAINED	MORE THAN 80 INCHES	60 INCHES TO 100 INCHES	6s	A	NO

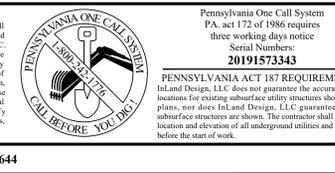
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PENNSYLVANIA ONE CALL SYSTEM
PA. act 172 of 1986 requires three working days notice
Serial Number: 20191573343

PENNSYLVANIA ACT 187 REQUIREMENTS:
Inland Design, LLC does not guarantee the accuracy of the location of existing subsurface utility structures shown on the plans, nor does Inland Design, LLC guarantee that all subsurface structures are shown. The contractor shall verify the location and elevation of all underground utilities and structures before the start of work.

INLAND DESIGN
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Phone: (484) 947-2928 Fax: (484) 947-2946 Info@InlandDesign.net

PROTECTED AREA (OUTSIDE OF LIMIT OF DISTURBANCE):
POI A 3.81 ACRES
POI B 3.21 ACRES



No.	Date:	Description:
1	2019/12/02	REVISED PER ENGINEER'S COMMENT LETTER 2019/11/18
2	2020/01/10	REVISED PER ENGINEER'S COMMENT LETTER 2020/01/09
3	2020/01/31	REVISED PER CCDD COMMENTS

PRELIMINARY / FINAL SUBDIVISION & LAND DEVELOPMENT PLAN

GRAPHIC SCALE
0 25 50 100 200
(IN FEET)
1 inch = 50'

Date: 10/08/2019
Scale: 1" = 50'
Drawn by: T.H.H.
Checked by: L.R.L.
Project No. 11420

SEDIMENT & EROSION CONTROL PLAN FOR
BELLA CUSTOM HOMES
2969 HORSESHOE TRAIL
CHESTER SPRINGS, PA 19255
WEST VINCENT TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA

OWNER OF RECORD:
PATRICIA MORGERA
1520 STOFF ROAD
DOWNTOWN, PA 19335
PMORGERA@COMCAST.NET

TOTAL LIMIT OF DISTURBANCE IS 3.10 ACRES
NPDES PERMIT AREA IS THE SAME AS THE PROPERTY BOUNDARY

CONSTRUCTION SEQUENCE LOT 2A

AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES (INCLUDING CLEARING AND GRUBBING), THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, LOCAL COUNTY CONSERVATION DISTRICT REPRESENTATIVES, THE EAS PLAN PREPARER, AND THE PCSM PLAN PREPARER TO AN ON-SITE PRE-CONSTRUCTION MEETING.

UPON INSTALLATION OR STABILIZATION OF ALL PERIMETER SEDIMENT CONTROL BMPs AND AT LEAST 3 DAYS PRIOR TO PROCEEDING WITH THE BULK EARTH DISTURBANCE ACTIVITIES, THE PERMITTEE OR CO-PERMITTEE SHALL PROVIDE NOTIFICATION TO THE TOWNSHIP.

AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.

ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED BY THE TOWNSHIP PRIOR TO IMPLEMENTATION. EACH STEP OF THE SEQUENCE SHALL BE COMPLETED BEFORE PROCEEDING TO THE NEXT STEP, EXCEPT WHERE NOTED.

PRIOR TO EARTH DISTURBANCE ACTIVITY DESCRIBED IN ANY STEP OF THE CONSTRUCTION SEQUENCE, CLEAR AND GRUB AND STRIP TOPSOIL IN ONLY THAT AREA DESCRIBED IN EACH STAGE. STOCKPILE TOPSOIL IN THE DESIGNATED LOCATIONS.

UPON COMPLETION OR TEMPORARY CESSATION OF EARTH DISTURBANCE ACTIVITY, OR ANY STAGE THEREOF, THE PROJECT SITE SHALL BE IMMEDIATELY STABILIZED WITH THE APPROPRIATE TEMPORARY OR PERMANENT STABILIZATION.

IF UNFAVORABLE CONDITIONS ARE ENCOUNTERED DURING THE INSTALLATION OF THE INFILTRATION SYSTEMS AND ALL OTHER STORMWATER BMPs (I.E. GROUNDWATER AND/OR BEDROCK), THE OWNER/ENGINEER SHALL BE CONTACTED IMMEDIATELY TO DETERMINE IF THE INFILTRATION SYSTEMS SHOULD BE RELOCATED TO A MORE SUITABLE LOCATION ON THE SITE.

- FIELD MARK LIMITS OF DISTURBANCE PRIOR TO EARTHMOVING ACTIVITIES.
- INSTALL ORANGE CONSTRUCTION FENCE AROUND SEWAGE DISPOSAL FIELD AND INFILTRATION BED. CONSTRUCTION VEHICLES ARE NOT PERMITTED IN THE AREAS OF THE SEWAGE DISPOSAL FIELD AND INFILTRATION BED.
- INSTALL THE STABILIZED CONSTRUCTION ENTRANCE WITH TIRE WASH AND BROAD BASED DIP EXTENDING TO COMPOST FILTER SOCK DIVERSION BERM.
- INSTALL COMPOST FILTER SOCK AS SHOWN ON THE PLAN PRIOR TO ANY EARTH MOVING ACTIVITIES.
- STRIP TOPSOIL FROM DRIVEWAY AND STOCKPILE APPROPRIATELY.
- CESSATION OF ACTIVITY FOR 4 DAYS OR LONGER REQUIRES TEMPORARY STABILIZATION.
- ROUGH GRADE DRIVEWAY AND PLACE STONE BASE ON DRIVEWAY. INSTALL BROAD BASED DIPS IN LOCATIONS SHOWN ON PLAN.
- ONCE DRIVEWAY IS STABILIZED, ROUGH GRADE HOUSE SITE. CONTRACTOR SHALL GUARANTEE FLOW IS DIRECTED AWAY FROM THE BUILDING FOUNDATION AND WALLS.
- PROCEED WITH THE BUILDING CONSTRUCTION AND INSTALL UTILITIES TO THE NEW DWELLINGS, INCLUDING STORM SEWER PIPING AND THE ON-LOT SEWAGE DISPOSAL SYSTEM. THE DISPOSAL FIELD SHALL BE PROTECTED FROM VEHICLE TRAFFIC BEFORE DURING AND AFTER CONSTRUCTION. INSTALL TEMPORARY INLET FILTERS.
- EXCAVATE BASEMENT FOUNDATIONS FOR PROPOSED STRUCTURES.
- CONSTRUCT FOUNDATION AND BASEMENT WALLS. BACKFILL WALLS AS SOON AS PRACTICAL.
- COMPLETE FINAL GRADING AROUND HOUSE AND RESPREAD TOPSOIL IMMEDIATELY STABILIZE WITH PERMANENT SEEDING.
- INSTALL COMPOST FILTER BLANKETS (FILTREXX LOCKDOWN NETTING) ON DISTURBED AREAS, WHERE SHOWN ON PLAN.
- RESPREAD TOPSOIL ON REMAINING GRASSED AREAS AND STABILIZE IMMEDIATELY WITH PERMANENT SEED AND MULCH.
- AREAS TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES (6 TO 12 INCHES ON COMPACTED SOILS) PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM OF 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING.
- CONSTRUCT INFILTRATION BASIN 2A. ****CRITICAL STAGE** A LICENSED ENGINEER OR DESIGNEE SHOULD BE PRESENT TO OBSERVE AND VERIFY INSTALLATION OF INFILTRATION BASIN 2A PER NOTED CRITICAL STAGES.**
 - REFER TO THE SEPARATE CONSTRUCTION SEQUENCE ON SHEET 6.
 - CONTRACTOR SHOULD ENSURE THAT NO RUNOFF IS ALLOWED TO ENTER THE BASIN DURING CONSTRUCTION. ONLY AFTER THE SITE IS COMPLETELY STABILIZED SHOULD RUNOFF BE INTRODUCED TO THE FACILITY.
 - INSTALL TEMPORARY INLET PROTECTION. TEMPORARY INLET PROTECTION SHALL REMAIN IN PLACE UNTIL FINAL STABILIZATION HAS BEEN ACHIEVED.
- FINE GRADE THE DRIVEWAY AND PARKING AREA.
- INSTALL BASE COURSE AND BINDER COURSE FOR THE DRIVEWAY AND PARKING EXTEND DRIVEWAY TO LOT 2B PROPERTY LINE. INSTALL 2" WIDE STONE ALONG DRIVEWAY TRENCH WHERE SHOWN ON PLAN.
- FINE GRADE ALL PREVIOUSLY DISTURBED AREAS THAT ARE READY FOR FINAL STABILIZATION AND STABILIZATION IMMEDIATELY WITH SEED AND HAY OR STRAW MULCH CONSISTENT WITH IMMEDIATE STABILIZATION CRITERIA.
- COLLECT ALL SILT AND SEDIMENT DEPOSITS IN EROSION CONTROL DEVICES AND PLACE ON SITE IN NON-ERODIBLE AREAS AND PERMANENTLY STABILIZE ALL DISTURBED AREAS. TEMPORARY EROSION CONTROLS MAY NOT BE REMOVED UNTIL STABILIZATION IS ATTAINED. (70% UNIFORM COVERAGE OF A PERENNIAL VEGETATIVE SPECIES). NO STORMWATER SHALL BE PERMITTED TO ENTER INFILTRATION BMP AREA UNTIL THE CONTRIBUTING DRAINAGE AREA ACHIEVES 70% PERMANENT SITE STABILIZATION.
- BEGIN INSTALLATION OF FINAL SEEDING AND LANDSCAPING. THE CONTRACTOR SHALL REPAIR ANY DAMAGED LAWN AREAS ON LOT 2A.
- INSTALL PAVEMENT WEARING COURSE. THE CONTRACTOR SHALL REPAIR ANY DAMAGED DOOR TO THE DRIVEWAY SURFACES ON LOT 2A.
- UPON STABILIZATION OF ALL DISTURBED AREAS, REMOVE REMAINING SEDIMENT BARRIERS AND CONTROLS AND UNBLOCK ALL INLETS. IMMEDIATELY STABILIZE AREAS DISTURBED BY REMOVAL PROCESS IN ACCORDANCE WITH PERMANENT SEED AND MULCH SPECIFICATIONS. COLLECT ALL SILT AND SEDIMENT DEPOSITS IN EROSION CONTROL DEVICES AND PACE ON SITE IN NON-ERODIBLE AREAS AND PERMANENTLY STABILIZE ALL DISTURBED AREAS.
- INSTALL PERMANENT WATER QUALITY INLETS AS NOTED ON THE POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN (SHEET 11). ****CRITICAL STAGE** A LICENSED ENGINEER OR DESIGNEE SHOULD BE PRESENT TO OBSERVE AND VERIFY INSTALLATION OF THE WATER QUALITY INLETS PER NOTED CRITICAL STAGES.**
 - REFER TO THE SEPARATE CONSTRUCTION SEQUENCE ON SHEET 10.
- ONCE ALL TRIBUTARY AREAS ARE STABILIZED, REMOVE ANY REMAINING EROSION CONTROLS AND PERMANENTLY STABILIZE ALL AREAS DISTURBED DURING THE REMOVAL PROCESS. A SITE INSPECTION AND APPROVAL BY THE CHESTER COUNTY CONSERVATION DISTRICT IS REQUIRED BEFORE REMOVAL OF TEMPORARY EAS CONTROLS.
- ALL PCSM BMPs MUST BE INSPECTED TO ENSURE THEY HAVE NOT BEEN IMPACTED DURING CONSTRUCTION ACTIVITIES. ****CRITICAL STAGE** CONTACT ENGINEER FOR A SITE ENGINEERING INSPECTION FOR ALL PCSM BMPs.**
- PREPARE AS-BUILT PLANS. SUBMIT A PARTIAL NOTICE OF TERMINATION (NOT) TO THE COUNTY CONSERVATION DISTRICT ONCE ALL TEMPORARY E&S BMPs HAVE BEEN REMOVED AND THE ENTIRE PROJECT SITE IS PERMANENTLY STABILIZED.

- FIELD MARK LIMITS OF DISTURBANCE PRIOR TO EARTHMOVING ACTIVITIES.
- INSTALL ORANGE CONSTRUCTION FENCE AROUND SEWAGE DISPOSAL FIELD AND INFILTRATION BED. CONSTRUCTION VEHICLES ARE NOT PERMITTED IN THE AREAS OF THE SEWAGE DISPOSAL FIELD AND INFILTRATION BED.
- INSTALL THE STABILIZED CONSTRUCTION ENTRANCE WITH TIRE WASH. CONTRACTOR SHALL TAKE GREAT CARE TO AVOID TRACKING DEBRIS INTO LOT 2A.
- INSTALL COMPOST FILTER SOCK AS SHOWN ON THE PLAN PRIOR TO ANY EARTH MOVING ACTIVITIES.
- STRIP TOPSOIL FROM DRIVEWAY AND STOCKPILE APPROPRIATELY.
- CESSATION OF ACTIVITY FOR 4 DAYS OR LONGER REQUIRES TEMPORARY STABILIZATION.
- ROUGH GRADE DRIVEWAY AND PLACE STONE BASE ON DRIVEWAY.
- ONCE DRIVEWAY IS STABILIZED, ROUGH GRADE HOUSE SITE.
- PROCEED WITH THE BUILDING CONSTRUCTION AND INSTALL UTILITIES TO THE NEW DWELLINGS, INCLUDING STORM SEWER PIPING AND ON-LOT SEWAGE DISPOSAL SYSTEM. THE DISPOSAL FIELD SHALL BE PROTECTED FROM VEHICLE TRAFFIC BEFORE DURING AND AFTER CONSTRUCTION. INSTALL TEMPORARY INLET FILTERS.
- EXCAVATE BASEMENT FOUNDATIONS FOR PROPOSED STRUCTURES.
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- COMPLETE FINAL GRADING AROUND HOUSE AND RESPREAD TOPSOIL IMMEDIATELY STABILIZE WITH PERMANENT SEEDING. CONTRACTOR SHALL GUARANTEE FLOW IS DIRECTED AWAY FROM THE BUILDING FOUNDATION AND WALLS.
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- RESPREAD TOPSOIL ON REMAINING GRASSED AREAS AND STABILIZE IMMEDIATELY WITH PERMANENT SEED AND MULCH.
- AREAS TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES (6 TO 12 INCHES ON COMPACTED SOILS) PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM OF 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING.
- CONSTRUCT INFILTRATION BASIN 2B. ****CRITICAL STAGE** A LICENSED ENGINEER OR DESIGNEE SHOULD BE PRESENT TO OBSERVE AND VERIFY INSTALLATION OF INFILTRATION BASIN 2B PER NOTED CRITICAL STAGES.**
 - REFER TO THE SEPARATE CONSTRUCTION SEQUENCE ON SHEET 6.
 - CONTRACTOR SHOULD ENSURE THAT NO RUNOFF IS ALLOWED TO ENTER THE BASINS DURING CONSTRUCTION. ONLY AFTER THE SITE IS COMPLETELY STABILIZED SHOULD RUNOFF BE INTRODUCED TO THE FACILITY.
 - INSTALL TEMPORARY INLET PROTECTION. TEMPORARY INLET PROTECTION SHALL REMAIN IN PLACE UNTIL FINAL STABILIZATION HAS BEEN ACHIEVED.
- FINE GRADE THE DRIVEWAY AND PARKING AREA.
- INSTALL BASE COURSE AND BINDER COURSE FOR THE DRIVEWAY AND PARKING
- FINE GRADE ALL PREVIOUSLY DISTURBED AREAS THAT ARE READY FOR FINAL STABILIZATION AND STABILIZE IMMEDIATELY WITH SEEDING AND HAY OR STRAW MULCH CONSISTENT WITH IMMEDIATE STABILIZATION CRITERIA.
- COLLECT ALL SILT AND SEDIMENT DEPOSITS IN EROSION CONTROL DEVICES AND PLACE ON SITE IN NON-ERODIBLE AREAS AND PERMANENTLY STABILIZE ALL DISTURBED AREAS. TEMPORARY EROSION CONTROLS MAY NOT BE REMOVED UNTIL STABILIZATION IS ATTAINED. (70% UNIFORM COVERAGE OF A PERENNIAL VEGETATIVE SPECIES). NO STORMWATER SHALL BE PERMITTED TO ENTER INFILTRATION BMP AREA UNTIL THE CONTRIBUTING DRAINAGE AREA ACHIEVES 70% PERMANENT SITE STABILIZATION.
- BEGIN INSTALLATION OF FINAL SEEDING AND LANDSCAPING. THE CONTRACTOR SHALL REPAIR ANY DAMAGED LAWN AREAS ON LOT 2A.
- INSTALL PAVEMENT WEARING COURSE. THE CONTRACTOR SHALL REPAIR ANY DAMAGED DOOR TO THE DRIVEWAY SURFACES ON LOT 2A.
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- ALL PCSM BMPs MUST BE INSPECTED TO ENSURE THEY HAVE NOT BEEN IMPACTED DURING CONSTRUCTION ACTIVITIES. ****CRITICAL STAGE** CONTACT ENGINEER FOR A SITE ENGINEERING INSPECTION FOR ALL PCSM BMPs.**
- PREPARE AS-BUILT PLANS. SUBMIT THE FINAL NOTICE OF TERMINATION (NOT) TO THE COUNTY CONSERVATION DISTRICT ONCE ALL TEMPORARY E&S BMPs HAVE BEEN REMOVED AND THE ENTIRE PROJECT SITE IS PERMANENTLY STABILIZED.

EROSION AND SEDIMENT CONTROL PLAN OBJECTIVES

- FIT THE LAND-DISTURBING ACTIVITY TO THE TERRAIN THROUGH MATCHING PROPOSED GRADES AS CLOSE TO EXISTING AS POSSIBLE.
- MINIMIZE BARE SOIL EXPOSURE AND THE EXTENT AND DURATION OF EARTH DISTURBANCE THROUGH THE USE OF TEMPORARY STABILIZATION TECHNIQUES AND A DETAILED CONSTRUCTION SEQUENCE.
- RETAIN EXISTING VEGETATION WHENEVER FEASIBLE AND APPROPRIATE BY MAXIMIZING PROTECTION OF EXISTING DRAINAGE FEATURES AND VEGETATION.
- MINIMIZE SOIL COMPACTION BY DELINEATING LIMITS OF DISTURBANCE IN ONLY THOSE AREAS NECESSARY FOR CONSTRUCTION.
- STABILIZE DISTURBED AREAS IMMEDIATELY AFTER GRADING WITH TEMPORARY SEEDING AND MULCHING.
- DIRECT RUNOFF AWAY FROM BARE SOIL AREAS.
- MINIMIZE LENGTH AND STEEPNESS OF SLOPES BY IMPLEMENTING THE APPROPRIATE TEMPORARY E&S BMP.
- UTILIZE OTHER MEASURES OR CONTROLS THAT PREVENT OR MINIMIZE GENERATION OF INCREASED STORMWATER RUNOFF.
- PREPARE DRAINAGEWAYS AND OUTLETS TO HANDLE INCREASED RUNOFF AND CONCENTRATION FLOWS.
- REDUCE SEDIMENTATION BY APPLYING EROSION CONTROL AND WATER QUALITY PRACTICES ON-SITE.
- AVOID, MINIMIZE OR MITIGATE THERMAL IMPACTS.

CONSTRUCTION SEQUENCE LOT 2B

AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES (INCLUDING CLEARING AND GRUBBING), THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, LOCAL COUNTY CONSERVATION DISTRICT REPRESENTATIVES, THE EAS PLAN PREPARER, AND THE PCSM PLAN PREPARER TO AN ON-SITE PRE-CONSTRUCTION MEETING.

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AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.

ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED BY THE TOWNSHIP PRIOR TO IMPLEMENTATION. EACH STEP OF THE SEQUENCE SHALL BE COMPLETED BEFORE PROCEEDING TO THE NEXT STEP, EXCEPT WHERE NOTED.

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UPON COMPLETION OR TEMPORARY CESSATION OF EARTH DISTURBANCE ACTIVITY, OR ANY STAGE THEREOF, THE PROJECT SITE SHALL BE IMMEDIATELY STABILIZED WITH THE APPROPRIATE TEMPORARY OR PERMANENT STABILIZATION.

IF UNFAVORABLE CONDITIONS ARE ENCOUNTERED DURING THE INSTALLATION OF THE INFILTRATION SYSTEMS AND ALL OTHER STORMWATER BMPs (I.E. GROUNDWATER AND/OR BEDROCK), THE OWNER/ENGINEER SHALL BE CONTACTED IMMEDIATELY TO DETERMINE IF THE INFILTRATION SYSTEMS SHOULD BE RELOCATED TO A MORE SUITABLE LOCATION ON THE SITE.

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- ONCE DRIVEWAY IS STABILIZED, ROUGH GRADE HOUSE SITE.
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- CONSTRUCT INFILTRATION BASIN 2B. ****CRITICAL STAGE** A LICENSED ENGINEER OR DESIGNEE SHOULD BE PRESENT TO OBSERVE AND VERIFY INSTALLATION OF INFILTRATION BASIN 2B PER NOTED CRITICAL STAGES.**
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 - CONTRACTOR SHOULD ENSURE THAT NO RUNOFF IS ALLOWED TO ENTER THE BASINS DURING CONSTRUCTION. ONLY AFTER THE SITE IS COMPLETELY STABILIZED SHOULD RUNOFF BE INTRODUCED TO THE FACILITY.
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- BEGIN INSTALLATION OF FINAL SEEDING AND LANDSCAPING. THE CONTRACTOR SHALL REPAIR ANY DAMAGED LAWN AREAS ON LOT 2A.
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- ONCE ALL TRIBUTARY AREAS ARE STABILIZED, REMOVE ANY REMAINING EROSION CONTROLS AND PERMANENTLY STABILIZE ALL AREAS DISTURBED DURING THE REMOVAL PROCESS. A SITE INSPECTION AND APPROVAL BY THE CHESTER COUNTY CONSERVATION DISTRICT IS REQUIRED BEFORE REMOVAL OF TEMPORARY EAS CONTROLS.
- ALL PCSM BMPs MUST BE INSPECTED TO ENSURE THEY HAVE NOT BEEN IMPACTED DURING CONSTRUCTION ACTIVITIES. ****CRITICAL STAGE** CONTACT ENGINEER FOR A SITE ENGINEERING INSPECTION FOR ALL PCSM BMPs.**
- PREPARE AS-BUILT PLANS. SUBMIT THE FINAL NOTICE OF TERMINATION (NOT) TO THE COUNTY CONSERVATION DISTRICT ONCE ALL TEMPORARY E&S BMPs HAVE BEEN REMOVED AND THE ENTIRE PROJECT SITE IS PERMANENTLY STABILIZED.

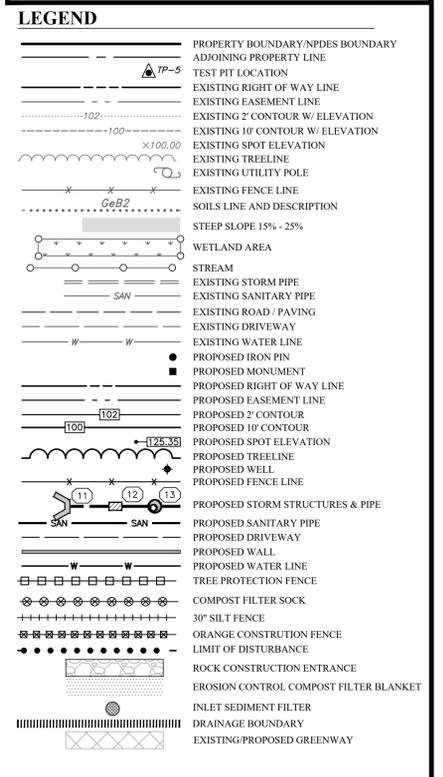
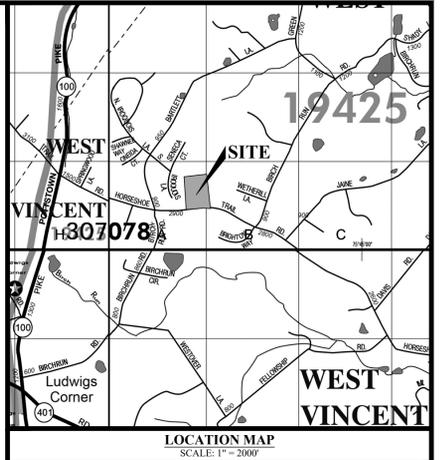
- FIELD MARK LIMITS OF DISTURBANCE PRIOR TO EARTHMOVING ACTIVITIES.
- INSTALL ORANGE CONSTRUCTION FENCE AROUND SEWAGE DISPOSAL FIELD AND INFILTRATION BED. CONSTRUCTION VEHICLES ARE NOT PERMITTED IN THE AREAS OF THE SEWAGE DISPOSAL FIELD AND INFILTRATION BED.
- INSTALL THE STABILIZED CONSTRUCTION ENTRANCE WITH TIRE WASH. CONTRACTOR SHALL TAKE GREAT CARE TO AVOID TRACKING DEBRIS INTO LOT 2A.
- INSTALL COMPOST FILTER SOCK AS SHOWN ON THE PLAN PRIOR TO ANY EARTH MOVING ACTIVITIES.
- STRIP TOPSOIL FROM DRIVEWAY AND STOCKPILE APPROPRIATELY.
- CESSATION OF ACTIVITY FOR 4 DAYS OR LONGER REQUIRES TEMPORARY STABILIZATION.
- ROUGH GRADE DRIVEWAY AND PLACE STONE BASE ON DRIVEWAY.
- ONCE DRIVEWAY IS STABILIZED, ROUGH GRADE HOUSE SITE.
- PROCEED WITH THE BUILDING CONSTRUCTION AND INSTALL UTILITIES TO THE NEW DWELLINGS, INCLUDING STORM SEWER PIPING AND ON-LOT SEWAGE DISPOSAL SYSTEM. THE DISPOSAL FIELD SHALL BE PROTECTED FROM VEHICLE TRAFFIC BEFORE DURING AND AFTER CONSTRUCTION. INSTALL TEMPORARY INLET FILTERS.
- EXCAVATE BASEMENT FOUNDATIONS FOR PROPOSED STRUCTURES.
- CONSTRUCT FOUNDATION AND BASEMENT WALLS. BACKFILL WALLS AS SOON AS PRACTICAL.
- COMPLETE FINAL GRADING AROUND HOUSE AND RESPREAD TOPSOIL IMMEDIATELY STABILIZE WITH PERMANENT SEEDING. CONTRACTOR SHALL GUARANTEE FLOW IS DIRECTED AWAY FROM THE BUILDING FOUNDATION AND WALLS.
- INSTALL COMPOST FILTER BLANKET (FILTREXX LOCKDOWN NETTING) ON DISTURBED AREAS, WHERE SHOWN ON PLAN.
- RESPREAD TOPSOIL ON REMAINING GRASSED AREAS AND STABILIZE IMMEDIATELY WITH PERMANENT SEED AND MULCH.
- AREAS TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES (6 TO 12 INCHES ON COMPACTED SOILS) PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM OF 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING.
- CONSTRUCT INFILTRATION BASIN 2B. ****CRITICAL STAGE** A LICENSED ENGINEER OR DESIGNEE SHOULD BE PRESENT TO OBSERVE AND VERIFY INSTALLATION OF INFILTRATION BASIN 2B PER NOTED CRITICAL STAGES.**
 - REFER TO THE SEPARATE CONSTRUCTION SEQUENCE ON SHEET 6.
 - CONTRACTOR SHOULD ENSURE THAT NO RUNOFF IS ALLOWED TO ENTER THE BASINS DURING CONSTRUCTION. ONLY AFTER THE SITE IS COMPLETELY STABILIZED SHOULD RUNOFF BE INTRODUCED TO THE FACILITY.
 - INSTALL TEMPORARY INLET PROTECTION. TEMPORARY INLET PROTECTION SHALL REMAIN IN PLACE UNTIL FINAL STABILIZATION HAS BEEN ACHIEVED.
- FINE GRADE THE DRIVEWAY AND PARKING AREA.
- INSTALL BASE COURSE AND BINDER COURSE FOR THE DRIVEWAY AND PARKING
- FINE GRADE ALL PREVIOUSLY DISTURBED AREAS THAT ARE READY FOR FINAL STABILIZATION AND STABILIZE IMMEDIATELY WITH SEEDING AND HAY OR STRAW MULCH CONSISTENT WITH IMMEDIATE STABILIZATION CRITERIA.
- COLLECT ALL SILT AND SEDIMENT DEPOSITS IN EROSION CONTROL DEVICES AND PLACE ON SITE IN NON-ERODIBLE AREAS AND PERMANENTLY STABILIZE ALL DISTURBED AREAS. TEMPORARY EROSION CONTROLS MAY NOT BE REMOVED UNTIL STABILIZATION IS ATTAINED. (70% UNIFORM COVERAGE OF A PERENNIAL VEGETATIVE SPECIES). NO STORMWATER SHALL BE PERMITTED TO ENTER INFILTRATION BMP AREA UNTIL THE CONTRIBUTING DRAINAGE AREA ACHIEVES 70% PERMANENT SITE STABILIZATION.
- BEGIN INSTALLATION OF FINAL SEEDING AND LANDSCAPING. THE CONTRACTOR SHALL REPAIR ANY DAMAGED LAWN AREAS ON LOT 2A.
- INSTALL PAVEMENT WEARING COURSE. THE CONTRACTOR SHALL REPAIR ANY DAMAGED DOOR TO THE DRIVEWAY SURFACES ON LOT 2A.
- UPON STABILIZATION OF ALL DISTURBED AREAS, REMOVE REMAINING SEDIMENT BARRIERS AND CONTROLS AND UNBLOCK ALL INLETS. IMMEDIATELY STABILIZE AREAS DISTURBED BY REMOVAL PROCESS IN ACCORDANCE WITH PERMANENT SEED AND MULCH SPECIFICATIONS. COLLECT ALL SILT AND SEDIMENT DEPOSITS IN EROSION CONTROL DEVICES AND PACE ON SITE IN NON-ERODIBLE AREAS AND PERMANENTLY STABILIZE ALL DISTURBED AREAS.
- INSTALL PERMANENT WATER QUALITY INLETS AS NOTED ON THE POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN (SHEET 11). ****CRITICAL STAGE** A LICENSED ENGINEER OR DESIGNEE SHOULD BE PRESENT TO OBSERVE AND VERIFY INSTALLATION OF THE WATER QUALITY INLETS PER NOTED CRITICAL STAGES.**
 - REFER TO THE SEPARATE CONSTRUCTION SEQUENCE ON SHEET 10.
- ONCE ALL TRIBUTARY AREAS ARE STABILIZED, REMOVE ANY REMAINING EROSION CONTROLS AND PERMANENTLY STABILIZE ALL AREAS DISTURBED DURING THE REMOVAL PROCESS. A SITE INSPECTION AND APPROVAL BY THE CHESTER COUNTY CONSERVATION DISTRICT IS REQUIRED BEFORE REMOVAL OF TEMPORARY EAS CONTROLS.
- ALL PCSM BMPs MUST BE INSPECTED TO ENSURE THEY HAVE NOT BEEN IMPACTED DURING CONSTRUCTION ACTIVITIES. ****CRITICAL STAGE** CONTACT ENGINEER FOR A SITE ENGINEERING INSPECTION FOR ALL PCSM BMPs.**
- PREPARE AS-BUILT PLANS. SUBMIT THE FINAL NOTICE OF TERMINATION (NOT) TO THE COUNTY CONSERVATION DISTRICT ONCE ALL TEMPORARY E&S BMPs HAVE BEEN REMOVED AND THE ENTIRE PROJECT SITE IS PERMANENTLY STABILIZED.

DISPOSAL AND RECYCLING

- CONTRACTOR IS RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL DEMOLISHED OR UNUSED CONSTRUCTION MATERIALS. GARBAGE SHALL BE COLLECTED ON-SITE UNTIL RETRIEVED BY AN APPROVED DISPOSAL OR RECYCLING COMPANY. CONTRACTOR SHALL NOT INCINERATE EXCESS MATERIALS.
- LIKELY WASTE TO BE GENERATED AT THIS SITE:
- UNUSED CONCRETE TO BE PLACED IN CONCRETE WASHOUT AREAS
 - EXCESS SILT SOCK AND ANCHORING MATERIALS TO BE DEPOSITED IN APPROVED CONTAINER.
 - SCRAP MATERIALS FROM CONSTRUCTION
 - GENERAL RUBBISH AND DEBRIS

RECEIVING WATERS:

- THE SITE IS TRIBUTARY TO AN UNNAMED TRIBUTARY TO BURCH RUN (CHAPTER 93 CLASSIFICATION BY EXCEPTIONAL VALUE) (M). THE TRIBUTARY IS LOCATED APPROXIMATELY 600 FEET FROM THE SITE.
- THIS SITE IS LOCATED IN AN EXCEPTIONAL VALUE WATERSHED; EXTREME CARE SHOULD BE EXERCISED IN ALL DISTURBANCE ACTIVITIES TO PREVENT DEGRADATION TO THE WATERS OF THE COMMONWEALTH.
- UPON COMPLETION OR TEMPORARY CESSATION OF EARTH DISTURBANCE ACTIVITIES, THE PROJECT MUST BE IMMEDIATELY STABILIZED WITH THE APPROPRIATE TEMPORARY OR PERMANENT STABILIZATION.



SPECIAL GEOLOGIC AND SOIL CONDITIONS

THERE ARE NO CAUSES FOR SOIL CONDITIONS TO CAUSE POLLUTION DURING CONSTRUCTION.

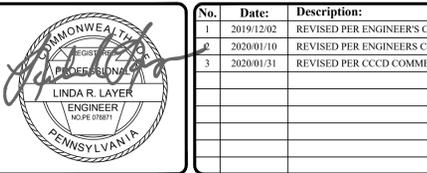
COMPOST FILTER SOCK SIZES

SOCK NO.	Dia In.	LOCATION
LOT 2A		
A1	18"	Near northerly property boundary of Lot 2A
A2	24"	South of A1
A3	24"	South of A2
A4	24"	At End of Waterbar at Construction Entrance
A5	24"	At End of Waterbar up driveway from A4
A6	18"	At End of Waterbar up driveway from A5
A7	24"	Perimeter Sock along driveway to waterbar at A5
A8	24"	Perimeter Sock along driveway to waterbar at Construction Entrance
LOT 2B		
B1	18"	Most northerly sock at proposed septic field
B2	18"	Downslope from B1
B3	18"	Downslope from B2
B4	18"	Downslope from B3
B5	18"	Perimeter Sock with J Hook
B6	24"	Downslope from B5 - Open and left in Place to create outside earthen berm

OWNER OF RECORD:
PATRICIA MORGERA
1520 STOFF ROAD
DOWNTOWN, PA 19335
PMORGERA@COMCAST.NET

PARCEL NO. 25-3-92.1A | D.B. 10067 | PG. 644

INLAND DESIGN
Civil Engineers, Surveyors & Land Development Consultants
16 Hagerty Blvd. West Chester, PA 19382 www.InlandDesign.net
Phone: (484) 947-2928 Fax: (484) 947-2946 Info@InlandDesign.net



No.	Date:	Description:

SEEDING AND MULCHING REQUIREMENTS

- IF SOIL TEST RESULTS ARE NOT AVAILABLE, APPLY AT LEAST SIX (6) TONS OF AGRICULTURAL GRADE LIMESTONE AND 100-200 (100 POUNDS OF N, 200 POUNDS OF P₂O₅ AND 200 POUNDS OF K₂O) PER ACRE TO DISTURBED AREAS.
- ALL ON-LOT DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED BY SEEDING WITH THE FOLLOWING SEED MIXTURE AT THE RATE OF 176 POUNDS PER ACRE: 50% KENTUCKY BLUEGRASS BAKON MIX, 25% RED FLYING PENN. LWN, 20% CHAMPION PERENNIAL RYEGRASS, AND 5% ANNUAL. THE SEEDING DATES FOR THIS MIXTURE SHALL BE MARCH 15 TO JUNE 15 AND/OR AUGUST 15 TO OCTOBER 15. AFTER SEEDING IS COMPLETE, MULCH THE SEEDED AREAS WITH CLEAN UN-ROTTED SMALL GRAIN STRAW OR SALT HAY AT A RATE OF THREE (3) TONS PER ACRE. (OTHER SEED MIXTURES MAY BE SUBSTITUTED IF APPROVED BY THE COUNTY CONSERVATION DISTRICT OR THE MUNICIPAL ENGINEER).
- IF THE ABOVE SEED MIXTURES DO NOT GERMINATE SATISFACTORILY IN AREAS OF THE SITE DUE TO WET SOIL CONDITIONS, THOSE AREAS SHALL BE RESEED WITH REED CANARY GRASS AT THE RATE OF 100 POUNDS PER ACRE.
- PERMANENT SEEDING SHALL ONLY OCCUR DURING THE DATES LISTED ABOVE. IF AREAS ARE PREPARED FOR SEEDING AT OTHER TIMES, THEN THE PREPARED SEEDBED SHALL BE HEAVILY MULCHED WITH CLEAN UN-ROTTED SMALL GRAIN STRAW OR SALT HAY AT THE RATE OF THREE (3) TONS PER ACRE. THE MULCH SHALL THEN BE REMOVED AND THE AREA SHALL BE DRESSED, SEEDED AND RE-MULCHED AS DESCRIBED ABOVE.
- DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE RECOMMENDED RATES. DISTURBED AREAS WHICH ARE NOT FINISHED AT GRADE AND WHICH WILL BE RE-DISTURBED WITHIN ONE YEAR MAY BE SEEDED AND MULCHED WITH A QUICK GROWING, TEMPORARY SEEDING MIXTURE (ANNUAL RYEGRASS, 40 POUNDS PER ACRE, OR SEE PENNSYLVANIA STATE UNIVERSITY AGRONOMY GUIDE FOR OTHER SEEDING RECOMMENDATIONS). APPLY 1 TON OF AGRICULTURAL LIMESTONE PER ACRE, PLUS FERTILIZER, AT THE RATE OF 50-50-200 PER ACRE. (50 LBS. OF N, 50 LBS OF P₂O₅ AND 200 LBS. OF K₂O).

TOPSOIL SPECIFICATIONS

- GRADED AREAS SHOULD BE SCARIFIED TO A DEPTH OF 3 - 5 INCHES TO PERMIT BONDING OF THE TOPSOIL TO THE SURFACE AREA AND TO PROVIDE A ROUGHENED SURFACE TO PREVENT TOPSOIL FROM SLIDING DOWN SLOPE.
- TOPSOIL SHOULD BE UNIFORMLY DISTRIBUTED ACROSS THE DISTURBED AREA TO A DEPTH OF 4 - 8 INCHES MINIMUM (2 INCHES ON FILL OUTSLOPES). SPREADING SHOULD BE DONE IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL PREPARATION OR TILLAGE. IRRIGAL ARTICLES IN THE SURFACE RESULTING FROM TOPSOIL PLACEMENT SHOULD BE CORRECTED IN ORDER TO PREVENT FORMATIONS OF DEPRESSIONS UNLESS SUCH DEPRESSIONS ARE PART OF THE PCSWM PLAN.
- TOPSOIL SHOULD NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION. WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION, COMPACTED SOIL SHOULD BE SCARIFIED 6 - 12 INCHES AROUND CONTOUR WHEREVER POSSIBLE PRIOR TO SEEDING.

TABLE 11.1

DEPTH (IN)	PER 1,000 SF	PER ACRE
1	3.10	134
2	6.20	268
3	9.30	403
4	12.40	537
5	15.50	672
6	18.60	806
7	21.70	940
8	24.80	1,074

MAINTENANCE PROGRAM NOTES §102.4(B)(5)(x):

- UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENTATION BMPs MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENTATION BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL SITE INSPECTIONS WILL BE DOCUMENTED IN AN INSPECTION LOG USING DEP FORM 3150-FM-BW-EW0083 DATED 2/2012 OR MOST RECENT. THE COMPLIANCE ACTIONS AND THE DATE, TIME AND NAME OF THE PERSON CONDUCTING THE INSPECTION MUST BE NOTED. THE INSPECTION LOG WILL BE KEPT ON SITE AT ALL TIMES AND MADE AVAILABLE TO THE DISTRICT UPON REQUEST.
- WHERE BMPs ARE FOUND TO FAIL TO ALLEVIATE EROSION AND SEDIMENTATION POLLUTION, THE PERMITTEE OR THE CO-PERMITTEE SHALL INCLUDE THE FOLLOWING INFORMATION:
 - THE LOCATION AND SEVERITY OF THE BMPs FAILURE AND ANY POLLUTION EVENTS.
 - ALL STEPS TAKEN TO REDUCE, ELIMINATE AND PREVENT THE RECURRENCE OF THE NON-COMPLIANCE.
 - THE TIME FRAME TO CORRECT THE NON-COMPLIANCE, INCLUDING THE EXACT DATES WHEN THE ACTIVITY WILL RETURN TO COMPLIANCE.
- ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEANOUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RENETTING MUST BE PERFORMED IMMEDIATELY. IF EROSION AND SEDIMENTATION BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs OR MODIFICATIONS OF THOSE INSTALLED WILL BE NEEDED.
- SEDIMENT SHALL BE REMOVED FROM STORMWATER BMPs WHEN IT HAS ACCUMULATED TO A DEPTH OF 6 INCHES. COLLECTED SEDIMENT SHALL BE SPREAD ELSEWHERE (IN AREAS UNDER CONSTRUCTION) DURING CONSTRUCTION AND STABILIZATION. SEEDING AND MULCHING OF SLOPES SHALL CONFORM TO THE RECOMMENDATIONS WITHIN OR APPROVED EQUAL. TOPSOIL (MINIMUM 6 INCHES) SHALL BE PLACED PRIOR TO SEEDING.
- VEGETATION SHALL BE MOVED WHENEVER NECESSARY TO MAINTAIN A PLEASING APPEARANCE AND DISCOURAGE WEED GROWTH. ALL LOCAL REGULATIONS WILL BE COMPLIED WITH.
- AREAS THAT CONTAIN SOD SHALL BE CHECKED VERY CAREFULLY TO ENSURE THAT JOINTS BETWEEN THE SOD STRIPS ARE TIGHT AND SECURE. WHERE JOINT SEPARATION IS IN EVIDENCE, A CAREFUL INSPECTION OF EACH STRIP SHALL BE MADE TO DETERMINE WHETHER UNDERMINING OF THE STRIPS IS OCCURRING. IF IT IS, THE STRIPS SHALL BE ROLLED UP. THE SUBSURFACE SHALL BE FILLED AND GRADED AS REQUIRED AND THE SOD STRIPS SHALL BE RE-LAID WITH TIGHT JOINTS AND PEGGING.
- SEEDED AREAS THAT HAVE WASHED AWAY SHALL BE FILLED AND GRADED AS NECESSARY AND THEN RESEED. A BURLAP OR STRAW COVER WILL BE APPLIED AT A RATE OF 3 TONS/ACRE TO RETAIN THE SEED UNTIL IT HAS A CHANCE TO ROOT PROPERLY.
- THE ABOVE PROCEDURE SHALL BE REPEATED AFTER EACH SIZEABLE STORM UNTIL NO MORE SIGNS OF EROSION ARE EVIDENT. AT WEEKLY INTERVALS THEREAFTER, INSPECTION AND NECESSARY CLEANING WILL BE DONE. PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING AND RENETTING MUST BE DONE IMMEDIATELY.
- TRASH THAT IS REMOVED FROM ANY OF THE CONTROL DEVICES SHALL BE DISPOSED OF AT A PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION APPROVED DISPOSAL AREA. THERE WILL BE NO BURNING OR BURYING OF WASTE ON THE SITE. SILT THAT HAS ACCUMULATED SHALL BE REMOVED AND USED AS FILL WHENEVER REQUIRED ON THE SITE.
- SEDIMENT MUST BE REMOVED FROM STORMWATER INLET PROTECTION AFTER EACH RUNOFF EVENT.
- ALL ACCUMULATED SEDIMENT SHALL BE REMOVED AT COMPLETION OF THE PROJECT AFTER ALL EXPOSED SOIL SURFACES ARE FINISH-GRADED AND STABILIZED.
- PERMANENT EROSION CONTROL MAINTENANCE WILL CONSIST OF MAINTAINING THE STORMWATER MANAGEMENT BMPs IN ACCORDANCE WITH THE PCSWM PLAN AND MAINTENANCE NOTES. THE PERMANENT FACILITIES MAINTENANCE WILL BE THE RESPONSIBILITY OF THE LANDOWNER.

CLEAN FILL NOTE

CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DRILLED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE).

CLEAN FILL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE: FILL MATERIALS AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE STILL QUALIFIES AS CLEAN FILL PROVIDED THE TESTING REVEALS THAT THE FILL MATERIAL CONTAINS CONCENTRATIONS OF REGULATED SUBSTANCES THAT ARE BELOW THE RESIDENTIAL LIMITS IN TABLES FP-1a AND FP-1b FOUND IN THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL".

ANY PERSON PLACING CLEAN FILL THAT HAS BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE MUST USE FORM FP-001 TO CERTIFY THE ORIGIN OF THE FILL MATERIAL AND THE RESULTS OF THE ANALYTICAL TESTING TO QUALIFY THE MATERIAL AS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE OWNER OF THE PROPERTY RECEIVING THE FILL. A COPY OF FORM FP-001 CAN BE FOUND AT THE END OF THESE INSTRUCTIONS.

ENVIRONMENTAL DUE DILIGENCE: THE APPLICANT MUST PERFORM ENVIRONMENTAL DUE DILIGENCE TO DETERMINE IF THE FILL MATERIALS ASSOCIATED WITH THE PROJECT QUALIFY AS CLEAN FILL. ENVIRONMENTAL DUE DILIGENCE IS DEFINED AS: INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL ASSESSMENT OR AUDITS, ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL".

FILL MATERIAL THAT DOES NOT QUALIFY AS CLEAN FILL IS REGULATED FILL. REGULATED FILL IS WASTE AND MUST BE MANAGED IN ACCORDANCE WITH THE DEPARTMENTS MUNICIPAL OR RESIDUAL WASTE REGULATIONS BASED ON 25 PA CODE CHAPTERS 287 RESIDUAL WASTE MANAGEMENT OR 271 MUNICIPAL WASTE MANAGEMENT, WHICHEVER IS APPLICABLE. THESE REGULATIONS ARE AVAILABLE ON-LINE AT WWW.PACODE.COM

UTILITY LINE TRENCH EXCAVATION CONSTRUCTION REQUIREMENTS

- LIMIT ADVANCE CLEARING AND GRUBBING OPERATIONS TO A DISTANCE EQUAL TO TWO TIMES THE LENGTH OF PIPE INSTALLATION THAT CAN BE COMPLETED IN ONE DAY.
- WORK CREWS AND EQUIPMENT FOR TRENCHING, PLACEMENT OF PIPE AND BACKFILLING WILL BE SELF CONTAINED AND SEPARATE FROM CLEARING AND GRUBBING, SITE RESTORATION, AND STABILIZATION OPERATION.
- LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT AND BACKFILLING THAT CAN BE COMPLETED THE SAME DAY.
- WATER WHICH ACCUMULATES IN THE OPEN TRENCH WILL BE COMPLETELY REMOVED BY PUMPING BEFORE PIPE PLACEMENT AND/OR BACKFILLING BEGINS. WATER WILL BE PUMPED TO THE SEDIMENT BASINS.
- ON THE DAY FOLLOWING PIPE PLACEMENT AND TRENCH BACKFILLING, THE DISTURBED AREA WILL BE GRADED TO FINAL CONTOURS AND APPROPRIATE TEMPORARY EROSION AND SEDIMENT POLLUTION CONTROL MEASURES/FACILITIES WILL BE INSTALLED. SEEDING AND MULCHING OF ALL DISTURBED AREAS WILL BE DONE AT THE END OF EACH WEEK.

NPDES NOTICE OF TERMINATION NOTES:

- UPON PERMANENT STABILIZATION OF THE EARTH DISTURBANCE ACTIVITY UNDER §102.21(a)(2) (RELATING TO PERMANENT STABILIZATION), AND INSTALLATION OF BMPs IN ACCORDANCE WITH AN APPROVED PLAN PREPARED AND IMPLEMENTED IN ACCORDANCE WITH §§ 102.4 AND 102.4 (RELATING TO EROSION AND SEDIMENT CONTROL REQUIREMENTS; AND PCSWM REQUIREMENTS), THE PERMITTEE OR CO-PERMITTEE SHALL SUBMIT A NOTICE OF TERMINATION TO THE DEPARTMENT OR CONSERVATION DISTRICT.
- THE NOTICE OF TERMINATION MUST INCLUDE:
 - (1) THE FACILITY NAME, ADDRESS AND LOCATION.
 - (2) THE OPERATOR NAME AND ADDRESS.
 - (3) THE PERMIT NUMBER.
 - (4) THE REASON FOR PERMIT TERMINATION.
 - (5) IDENTIFICATION OF THE PERSON WHO HAS AGREED TO AND WILL BE RESPONSIBLE FOR LONG-TERM OPERATION AND MAINTENANCE OF THE PCSWM BMPs IN ACCORDANCE WITH §102.8(m) AND PROOF OF COMPLIANCE WITH §102.8(m)(2).
- PRIOR TO ACCEPTING THE NOT, THE DEPARTMENT AND/OR CONSERVATION DISTRICT STAFF WILL PERFORM A FINAL INSPECTION AND APPROVE OR DENY THE NOTICE OF TERMINATION.
- THE PERMITTEE SHALL PROVIDE ENGINEERING CONSTRUCTION OVERSIGHT FOR THE PROPOSED STORMWATER BMPs. ADDITIONAL SOIL TESTING MAY BE REQUIRED PRIOR TO THE INSTALLATION OF INFILTRATION BMPs TO ENSURE PROPER LOCATION AND FUNCTION. A LICENSED PROFESSIONAL KNOWLEDGEABLE IN THE DESIGN AND CONSTRUCTION OF STORMWATER BMPs, PREFERABLY THE DESIGN ENGINEER, SHALL CONDUCT THE OVERSIGHT.
- A LOG SHOWING DATES THAT EROSION AND SEDIMENTATION CONTROL BMPs WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO THE REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION.

RECYCLING PROCEDURES:

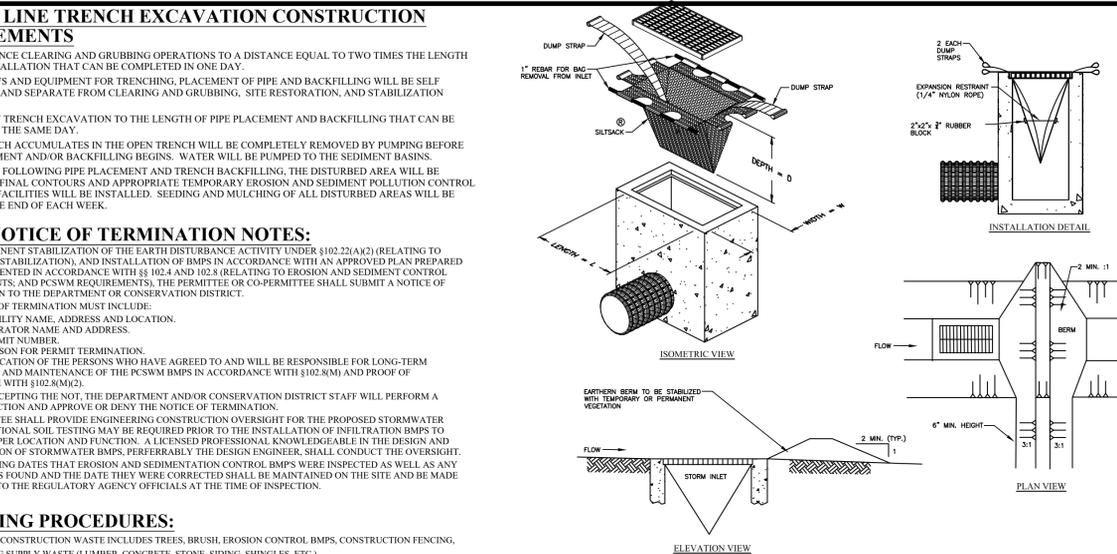
ANTICIPATED CONSTRUCTION WASTE INCLUDES TREES, BRUSH, EROSION CONTROL BMPs, CONSTRUCTION FENCING, AND BUILDING SUPPLY WASTE (LUMBER, CONCRETE, STONE, SIDING, SHINGLES, ETC.). THE OPERATOR SHALL REMOVE FROM THIS SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH THE DEPARTMENTS SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1 ET SEQ. THE CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP, OR DISCHARGE ANY BUILDING MATERIAL OR WASTES AT THIS SITE.

POTENTIAL POLLUTION IDENTIFICATION:

THE GEOLOGICAL FORMATIONS ON-SITE ARE SUCH THAT THE POTENTIAL FOR POLLUTION POTENTIAL IS ONLY SLIGHT AND NOT CONSIDERED A CONCERN. THE SOIL EROSION DURING CONSTRUCTION AND UNTIL THE SITE IS STABILIZED COULD POTENTIALLY CAUSE WATER POLLUTION, AND TO MINIMIZE THIS POTENTIAL THE EROSION AND SEDIMENT CONTROL BMPs ARE TO BE PROVIDED.

RECEIVING WATERS:

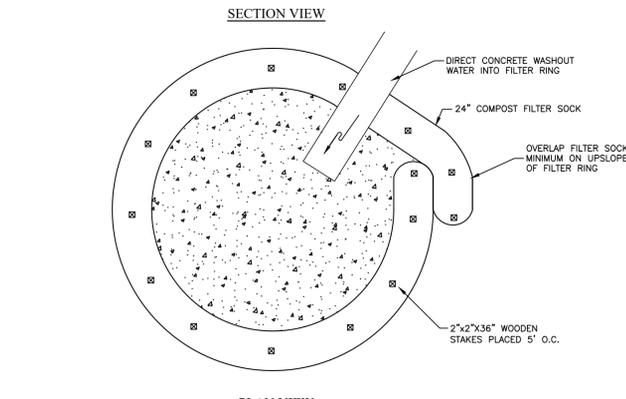
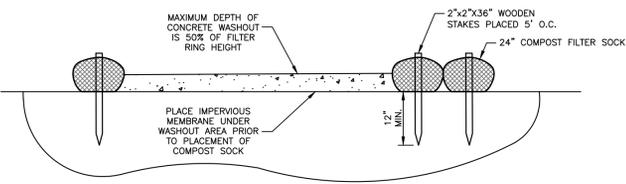
- THE SITE IS TRIBUTARY TO AN UNNAMED TRIBUTARY TO BIRCH RUN (CHAPTER 93 CLASSIFICATION EV (EXCEPTIONAL VALUE) MP). THE TRIBUTARY IS LOCATED APPROXIMATELY 600 FEET FROM THE SITE.
- THIS SITE IS LOCATED IN AN EXCEPTIONAL VALUE WATERSHED. EXTREME CARE SHOULD BE EXERCISED IN ALL DISTURBANCE ACTIVITIES TO PREVENT DEGRADATION TO THE WATERS OF THE COMMONWEALTH.
- UPON COMPLETION OR TEMPORARY CESSATION OF EARTH DISTURBANCE ACTIVITIES, THE PROJECT MUST BE IMMEDIATELY STABILIZED WITH THE APPROPRIATE TEMPORARY OR PERMANENT STABILIZATION.



FILTER BAG INLET PROTECTION - TYPE M INLET

(PADEP STANDARD CONSTRUCTION DETAIL #4-16) (NOT TO SCALE)

- MAXIMUM DRAINAGE AREA: 1/2 ACRE.
- INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.
- ROLLED EARTHEN BERM IN ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SURFACE BERM OR ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. EARTHEN BERM IN CHANNEL SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETED OR REPAIR PERMANENTLY.
- AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS., A MINIMUM BURST STRENGTH OF 200 PSL, AND A MINIMUM TENSILE TEAR STRENGTH OF 90 LBS. THE FABRIC SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.
- INLET FILTER BAGS SHALL BE REPLACED AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RESEED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED 50% TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED.
- A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE ACCUMULATED SEDIMENT AS WELL AS USUAL USED BAGS ACCORDING TO THE PLAN NOTES.
- DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

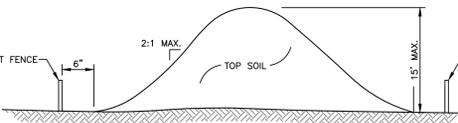


COMPOST SOCK WASHOUT INSTALLATION

(PADEP STANDARD FIGURE 3.18) (NOT TO SCALE)

- INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE.
- 18\"/>

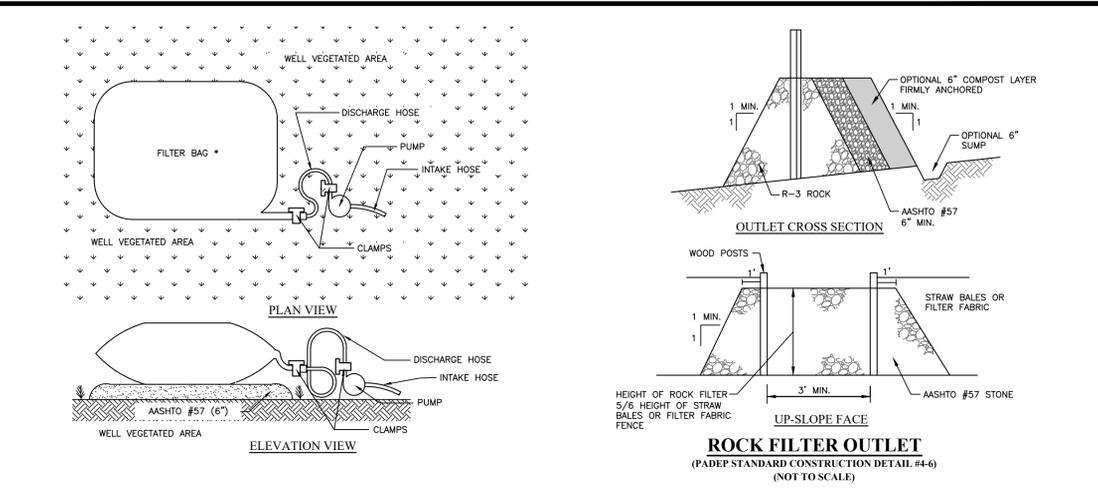
- MAINTENANCE:
- ALL CONCRETE WASHOUT FACILITIES SHOULD BE INSPECTED DAILY.
 - DAMAGED OR LEAKING WASHOUTS SHOULD BE DEACTIVATED AND REPAIRED OR REPLACED IMMEDIATELY.
 - ACCUMULATED MATERIALS SHOULD BE REMOVED WHEN THEY REACH 75% CAPACITY.
 - PLASTIC LINERS SHOULD BE REPLACED WITH EACH CLEANING OF THE WASHOUT FACILITY.



NOTE: SILT FENCE SHALL BE TRENCHED AND STAKED DOWN SLOPE OF THE STOCKPILE AREA.

TYPICAL TOPSOIL STOCKPILE CROSS SECTION

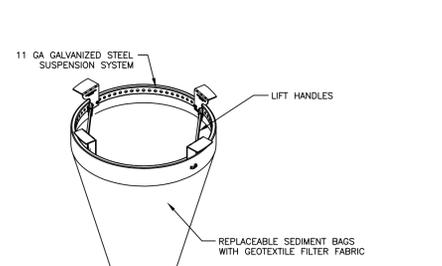
(NOT TO SCALE)



PUMPED WATER FILTER BAG

(NOT TO SCALE)

- FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL, SEWN WITH HIGH STRENGTH DOUBLE STITCHED "J" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS.
- A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL. PURPOSES MUST BE PROVIDED.
- FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED.
- BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASS) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE FLOW PATH SHALL BE PROVIDED. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5%.
- THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHOULD BE FLOATING AND SCREENED.



FOR GENERAL USE, TENSAR SAFETY FENCE BX 2051, 4\"/>

ORANGE CONSTRUCTION FENCE DETAIL

(NOT TO SCALE)

24\"/>

(NOT TO SCALE)

- NOTES:
- ALL FRAMING CONSTRUCTED OF CORROSION RESISTANT STEEL (ZINC PLATED OR GALVANIZED) FOR 7 YEAR MINIMUM SERVICE LIFE.
 - UPON ORDERING CONFIRMATION OF THE DOT CALLOUT, PRECAST OR CASTING MAKE AND MODEL, OR DETAILED DIMENSIONAL FORMS MUST BE PROVIDED TO CONFIGURE AND ASSEMBLE YOUR CUSTOMIZED FLEXSTORM INLET FILTER. PART NUMBER ALONE IS NOT SUFFICIENT.
 - FOR WRITTEN SPECIFICATIONS AND MAINTENANCE GUIDELINES VISIT WWW.INLETFILTERS.COM



NOTES:

- LOCKDOWN NETTING™ TO MEET FILTREXX® INSTALLATION SPECIFICATIONS.
- LOCKDOWN NETTING™ MUST BE INSTALLED BY A FILTREXX® CERTIFIED INSTALLER.
- LOCKDOWN NETTING™ IS RECOMMENDED FOR SLOPES BETWEEN 3:1 AND 2:1 AND IS REQUIRED FOR SLOPES GREATER THAN 2:1.
- LOCKDOWN NETTING™ IS NOT SUFFICIENT TO BE USED ALONE AS A FORM OF SLOPE STABILIZATION OR EROSION CONTROL. LOCKDOWN NETTING™ SHALL BE INSTALLED PRIOR TO THE APPLICATION OF CECC™.
- LOCKDOWN NETTING™ SHALL BE ANCHORED TO THE SOIL USING 6\"/>

WHERE MORE THAN ONE ROLL OF LOCKDOWN NETTING™ IS REQUIRED FOR A SLOPE LENGTH OR SLOPE WIDTH, NETTING EDGES SHALL BE OVERLAPPED BY A MINIMUM OF 6\"/>

LOCKDOWN NETTING™ SHALL BE INSTALLED FROM TOP TO BOTTOM (NEVER ACROSS) ON THE SLOPE.

LOCKDOWN NETTING™ SHALL BE INSTALLED UNDER THE ENTIRE AREA OF THE CECC™, INCLUDING 10 FEET OVER THE SHOULDER OF THE SLOPE.

FILTREXX® Lockdown Netting™

(NOT TO SCALE)

OWNER OF RECORD:

PATRICIA MORGERA
1520 STOFF ROAD
DOWNTOWN, PA 19335
PMORGERA@COMCAST.NET

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AMERICAN INDEPENDENT ENGINEER
LINDA R. LAYNE
ENGINEER
NOPE 07871
PENNSYLVANIA

No.	Date:	Description:
1	2019/12/02	REVISED PER ENGINEER'S COMMENT LETTER 2019/11/18
2	2020/01/31	REVISED PER CCCD COMMENTS

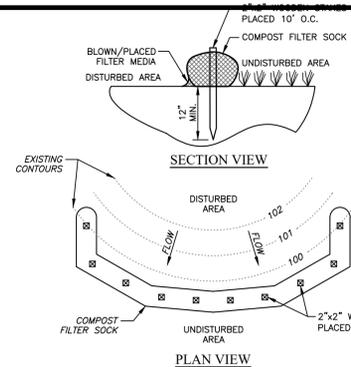
PRELIMINARY / FINAL
SUBDIVISION & LAND DEVELOPMENT PLAN

GRAPHIC SCALE
50 0 25 50 100 200
(IN FEET)
1 inch = 50'

Date: 10/08/2019
Scale: AS NOTED
Drawn by: TAH
Checked by: LRL
Project No. 11420

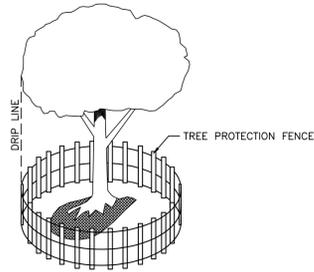
SEDIMENT & EROSION CONTROL DETAILS-2
FOR
BELLA CUSTOM HOMES
2969 HORSESHOE TRAIL
CHESTER SPRINGS, PA 19425
WEST VINCENT TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA

S H E E T
9
OF 10



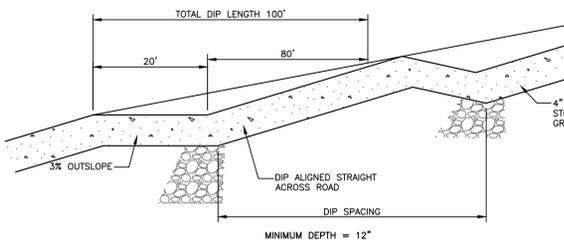
COMPOST FILTER SOCK
(PADEP STANDARD CONSTRUCTION DETAIL #4-1)
(NOT TO SCALE)

- COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE SOCK SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN SOCK ALIGNMENT (FIGURE 4.1). MAXIMUM SLOPE LENGTH ABOVE ANY SOCK SHALL NOT EXCEED THAT SHOWN ON FIGURE 4.2. STAKES MAY BE INSTALLED IMMEDIATELY DOWNSLOPE OF THE SOCK IF SO SPECIFIED BY THE MANUFACTURER.
- TRAFFIC SHALL NOT BE PERMITTED TO CROSS FILTER SOCKS.
- ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE ABOVEGROUND HEIGHT OF THE SOCK AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.
- SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.
- BIODEGRADABLE FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS. PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
- UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.



TREE PROTECTION
(NOT TO SCALE)

ALL WOODY VEGETATION TO BE RETAINED WITHIN 25 FEET OF A BUILDING SITE, PARKING AREA, DRIVEWAY OR OTHER PROPOSED IMPROVEMENT SHALL BE PROTECTED FROM EQUIPMENT DAMAGE BY FENCING OR OTHER EFFECTIVE BARRIERS APPROVED BY THE TOWNSHIP ENGINEER AND/OR ARBORIST. FENCING OR BARRIERS SHALL BE PLACED AS MUCH AS IS PRACTICAL AT THE DRIP LINE. LOCATION MAY BE ALTERED TO AVOID INTERFERENCE WITH PROPOSED GRADING AND IMPROVEMENTS AS SHOWN ON THE PLANS. BARRIER LOCATION SHALL BE SUBJECT TO APPROVAL BY THE TOWNSHIP ENGINEER AND/OR ARBORIST.



BROAD-BASED DIP FOR HIGH GRADIENT (5% - 10%)

ROADWAYS DETAIL
(PADEP STANDARD CONSTRUCTION DETAIL #3-7)
(NOT TO SCALE)

- BROAD-BASED DIPS SHALL BE CONSTRUCTED TO THE DIMENSIONS SHOWN AND AT THE LOCATIONS SHOWN ON THE PLAN DRAWINGS.
- DIPS SHALL BE ORIENTED SO AS TO DISCHARGE TO THE LOW SIDE OF THE ROADWAY.
- DIPS SHALL BE INSPECTED DAILY. DAMAGE OR NON-FUNCTIONING DIPS SHALL BE REPAIRED BY THE END OF THE WORKDAY.
- MAXIMUM SPACING OF BROAD-BASED DIPS SHALL BE AS SHOWN IN THE TABLE.

MAXIMUM SPACING OF BROAD-BASED DIPS, OPEN-TOP CULVERTS AND DEFLECTORS

ROAD GRADE (PERCENT)	SPACING BETWEEN DIPS, CULVERT, OR DEFLECTORS (FEET)
<2	300
3	235
4	200
5	180
6	165
7	155
8	150
9	145
10	140

RECEIVING WATERS:

- THE SITE IS TRIBUTARY TO AN UNNAMED TRIBUTARY TO BIRCH RUN (CHAPTER 93 CLASSIFICATION E.V. (EXCEPTIONAL VALUE) MP). THE TRIBUTARY IS LOCATED APPROXIMATELY 600 FEET FROM THE SITE.
- THIS SITE IS LOCATED IN AN EXCEPTIONAL VALUE WATERSHED. EXTREME CARE SHOULD BE EXERCISED IN ALL DISTURBANCE ACTIVITIES TO PREVENT DEGRADATION TO THE WATERS OF THE COMMONWEALTH.
- UPON COMPLETION OR TEMPORARY CESSATION OF EARTH DISTURBANCE ACTIVITIES, THE PROJECT MUST BE IMMEDIATELY STABILIZED WITH THE APPROPRIATE TEMPORARY OR PERMANENT STABILIZATION.

EROSION AND SEDIMENT CONTROL PLAN OBJECTIVES

- FIT THE LAND-DISTURBING ACTIVITY TO THE TERRAIN THROUGH MATCHING PROPOSED GRADES AS CLOSE TO EXISTING AS POSSIBLE.
- MINIMIZE BARE SOIL EXPOSURE AND THE EXTENT AND DURATION OF EARTH DISTURBANCE THROUGH THE USE OF TEMPORARY STABILIZATION TECHNIQUES AND A DETAILED CONSTRUCTION SEQUENCE.
- RETAIN EXISTING VEGETATION WHENEVER FEASIBLE AND APPROPRIATE BY MAXIMIZING PROTECTION OF EXISTING DRAINAGE FEATURES AND VEGETATION.
- MINIMIZE SOIL COMPACTION BY DELINEATING LIMITS OF DISTURBANCE IN ONLY THOSE AREAS NECESSARY FOR CONSTRUCTION.
- STABILIZE DISTURBED AREAS IMMEDIATELY AFTER GRADING WITH TEMPORARY SEEDING AND MULCHING.
- DIRECT RUNOFF AWAY FROM BARE SOIL AREAS.
- MINIMIZE LENGTH AND STEEPNESS OF SLOPES BY IMPLEMENTING THE APPROPRIATE TEMPORARY E&S BMP.
- UTILIZE OTHER MEASURES OR CONTROLS THAT PREVENT OR MINIMIZE GENERATION OF INCREASED STORMWATER RUNOFF.
- PREPARE DRAINAGE WAYS AND OUTLETS TO HANDLE INCREASED RUNOFF AND CONCENTRATION FLOWS.
- REDUCE SEDIMENTATION BY APPLYING EROSION CONTROL AND WATER QUALITY PRACTICES ON-SITE.
- AVOID, MINIMIZE OR MITIGATE THERMAL IMPACTS.

OPERATION AND MAINTENANCE PROCEDURE

TEMPORARY EROSION AND SEDIMENT CONTROL BMPs

- THE PERMITTEE SHALL BE RESPONSIBLE FOR THE PROPER CONSTRUCTION, STABILIZATION AND MAINTENANCE OF ALL EROSION AND SEDIMENTATION CONTROL MEASURES. INSPECTION/MAINTENANCE OF THESE MEASURES SHALL BE CONDUCTED ON A WEEKLY BASIS AND AFTER EVERY MEASURABLE RAINFALL. A WRITER REPORT DOCUMENTING THE INSPECTIONS AND APPROPRIATE MEASURES UTILIZED TO REPAIR THE ISSUE SHALL BE MAINTAINED ON-SITE.
- THE OPERATION AND MAINTENANCE REQUIREMENTS FOR THE TEMPORARY E&S BMPs FOR THIS PROJECT INCLUDE THE FOLLOWING:
 - COMPOST FILTER SOCK - SHALL BE INSPECTED/MAINTAINED TO ENSURE THAT THE WOODEN STAKES AND FABRIC CONFORM TO THE STANDARD DETAIL. FABRIC WHICH IS TORN, DISTENDED/DIFORMED OR OTHERWISE COMPROMISED SHALL BE REPLACED. ALL MATERIAL DEPOSITED BEHIND THE COMPOST FILTER SOCK SHALL BE DISTRIBUTED ON SITE AND IMMEDIATELY STABILIZED USING SEED AND MULCH.
 - INLET PROTECTION - SHALL BE CLEARED AND CLEANED AFTER EACH RUNOFF EVENT. SEDIMENT SHALL BE DISTRIBUTED ON SITE AND IMMEDIATELY STABILIZED.
 - TREE PROTECTION FENCE - INSPECT FENCING PERIODICALLY TO MAKE SURE IT IS POSITIONED SECURELY.

STAGING OF EARTH MOVING ACTIVITIES

- THE OVERALL SCHEDULE OF THE PROJECT IS THAT CONSTRUCTION WILL START APPROXIMATELY DURING THE SPRING 2020. THE CONTRACTOR MAY SELECT HIS SCHEDULE FOR THE SPECIFIC PORTIONS OF THE PROJECT, UNLESS OTHERWISE SPECIFIED.
- SPECIFIED EROSION CONTROL MEASURES AND FACILITIES INCLUDING BUT NOT LIMITED TO CONSTRUCTION ENTRANCES MUST BE INSTALLED AND BE OPERATIONAL PRIOR TO ANY EARTH MOVING ACTIVITIES WITHIN THE UPSLOPE DRAINAGE AREAS.
- FOR PIPELINE CONSTRUCTION WITHIN DRIVEWAYS AND PAVED AREAS, THE FOLLOWING STAGES ARE TO BE IMPLEMENTED SEQUENTIALLY AS WORK PROCEEDS:
 - INSTALL INLET PROTECTION AND OTHER MEASURES AS SHOWN ON THE PLANS. THESE MEASURES SHALL BE INSTALLED AT LEAST 500 FEET AHEAD OF PIPE INSTALLATION.
 - EXCAVATE TRENCHES AND DISCHARGE MATERIAL DIRECTLY INTO TRUCKS. CLEAN UP SPILLAGE WITH EACH TRUCKLOAD.
 - INSTALL PIPELINE AND BACKFILL. EROSION CONTROL FACILITIES MAY BE REMOVED WHEN TEMPORARY OR PERMANENT REPAVING IS INSTALLED AND THE AREA HAS BEEN CLEARED OF ALL DEBRIS.
 - PLACE TEMPORARY PAVING OR GRAVEL SURFACE OVER TRENCH AT THE END OF EACH WORKDAY.

TEMPORARY EROSION CONTROL MAINTENANCE PROGRAM

UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENTATION BMPs MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENTATION BMPs ON A DAILY BASIS AND AFTER EACH RUNOFF EVENT. ALL SITE INSPECTIONS WILL BE DOCUMENTED IN AN INSPECTION LOG KEPT FOR THIS PURPOSE. THE COMPLIANCE ACTIONS AND THE DATE, TIME AND NAME OF THE PERSON CONDUCTING THE INSPECTION MUST BE NOTED. THE INSPECTION LOG WILL BE KEPT ON SITE AT ALL TIMES AND MADE AVAILABLE TO THE TOWNSHIP UPON REQUEST.

ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEANOUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RESETTING MUST BE PERFORMED IMMEDIATELY. IF EROSION AND SEDIMENTATION BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs OR MODIFICATIONS OF THOSE INSTALLED WILL BE NEEDED.

WHERE BMPs ARE FOUND TO FAIL TO ALLEVIATE EROSION AND SEDIMENTATION POLLUTION, THE CONTRACTOR SHALL INCLUDE THE FOLLOWING INFORMATION:

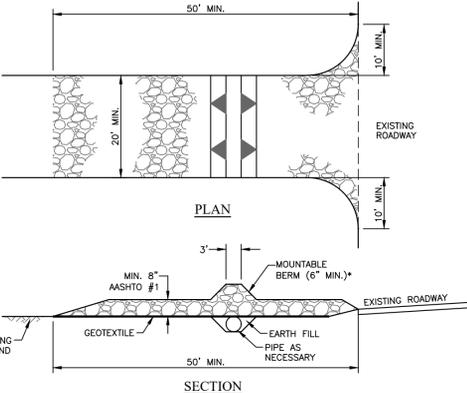
- THE LOCATION AND SEVERITY OF THE BMPs FAILURE AND ANY POLLUTION EVENTS.
- ALL STEPS TAKEN TO REDUCE, ELIMINATE AND PREVENT THE RECURRING OF THE NON-COMPLIANCE.
- THE TIME FRAME TO CORRECT THE NON-COMPLIANCE, INCLUDING THE EXACT DATES WHEN THE ACTIVITY WILL RETURN TO COMPLIANCE.

STANDARD E&S PLAN NOTES

- BEFORE INITIATING ANY REVISION TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR REVISIONS TO OTHER PLANS WHICH MAY AFFECT THE EFFECTIVENESS OF THE APPROVED E&S CONTROL PLAN, THE OPERATOR MUST RECEIVE APPROVAL OF THE REVISIONS FROM THE LOCAL COUNTY CONSERVATION DISTRICT. THE OPERATOR SHALL ASSURE THAT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN IS PROPERLY AND COMPLETELY IMPLEMENTED. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.
- THE CONTRACTOR IS ADVISED TO BECOME THOROUGHLY FAMILIAR WITH THE PROVISIONS OF THE APPENDIX 64, EROSION CONTROL RULES AND REGULATIONS, TITLE 25, PART I, DEPARTMENT OF ENVIRONMENTAL PROTECTION, SUBPART C, PROTECTION OF NATURAL RESOURCES, ARTICLE III, WATER RESOURCES, CHAPTER 102, EROSION CONTROL.
- A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. ADDITIONALLY, THE OPERATOR SHALL ASSURE THAT AN EROSION AND SEDIMENT CONTROL PLAN HAS BEEN PREPARED, AND HAS BEEN APPROVED BY THE LOCAL COUNTY CONSERVATION DISTRICT AND/OR LOCAL MUNICIPALITY IN COMPLIANCE WITH CHAPTER 102 RULES & REGULATIONS, AND IS BEING IMPLEMENTED AND MAINTAINED FOR ALL OFF-SITE SOIL AND/OR ROCK SOIL AND/OR BORROW AREAS.
- AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARE, THE PCSM PLAN PREPARE, THE LICENSED PROFESSIONAL RESPONSIBLE FOR ORIGIN OF CRITICAL STAGES OF IMPLEMENTATION OF THE PCSM PLAN, AND A REPRESENTATIVE FROM THE LOCAL CONSERVATION DISTRICT TO AN ON-SITE PRE-CONSTRUCTION MEETING.
- AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM THE LOCAL CONSERVATION DISTRICT OR BY THE DEPARTMENT PRIOR TO IMPLEMENTATION.
- AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL.
- CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE E&S BMPs SPECIFIED BY THE BMP SEQUENCE FOR THAT STAGE OR PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS E&S PLAN.
- AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN.
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN MAP(S) IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN DRAWINGS. STOCKPILE HEIGHTS SHALL NOT EXCEED 15 FEET. STOCKPILES IN SLOPES SHALL BE FLATTENED.
- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE LOCAL CONSERVATION DISTRICT AND/OR THE REGIONAL OFFICE OF THE DEPARTMENT.
- ALL OFF-SITE WASTE AND BORROW AREAS MUST HAVE AN E&S PLAN APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT FULLY IMPLEMENTED PRIOR TO BEING ACTIVATED.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL. FORM FP-600 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING.
- ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN, OVER UNDISTURBED VEGETATED AREAS.
- VEHICLES AND EQUIPMENT MAY NEITHER ENTER DIRECTLY NOR EXIT DIRECTLY FROM LOTS (SPECIFY LOT NUMBERS) ONTO (SPECIFY ROAD NAMES).
- UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs SHALL BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENTATION BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING AND SEDIMENT TO BE PERFORMED IMMEDIATELY. IF THE E&S BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
- A LOG (DEP FORM 3150-FM-BW0083) SHOWING DATES THAT E&S BMPs WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND MADE AVAILABLE TO REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION.
- SEDIMENT TRAP ON ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORKDAY, OR AS NEEDED, OR AS DIRECTED BY THE MUNICIPALITY OR THE CONSERVATION DISTRICT AND DISPOSED IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELLED, OR SWEEPED INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.
- ALL SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS.
- AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES - 6 TO 12 INCHES OF COMPACTED SOILS - PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTSLOPES SHALL HAVE A MINIMUM OF 2 INCHES OF TOPSOIL.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SEDIMENTATION OR OTHER PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
- ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
- FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
- FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
- ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEEDED AREAS WITHIN 50 FEET OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLANKETTED ACCORDING TO THE STANDARDS OF THIS PLAN.
- UPON COMPLETION OR TEMPORARY CESSATION OF THE EARTH DISTURBANCE ACTIVITY THAT WILL EXCEED 4 DAYS, OR ANY STAGE THEREOF, THE PROJECT SITE SHALL BE IMMEDIATELY STABILIZED WITH THE APPROPRIATE TEMPORARY OR PERMANENT STABILIZATION. (HYDROSEED IS NOT CONSIDERED STABILIZATION UNTIL IT GERMINATES). HAY OR STRAW MULCH MUST BE APPLIED AT 3.0 TONS PER ACRE.
- IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS, DURING NON-GERMINATING MONTHS. MULCH OR PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REACTIVATED WITHIN 1 YEAR, MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN 1 YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS.
- PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR OTHER MOVEMENTS.
- E&S BMPs SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT.
- UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO REMOVAL/CONVERSION OF THE E&S BMPs.
- AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMPs MUST BE REMOVED OR CONVERTED TO PERMANENT POST-CONSTRUCTION STORMWATER MANAGEMENT BMPs. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE BMPs SHALL BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS, SUCH REMOVAL/CONVERSIONS ARE TO BE DONE ONLY DURING THE GERMINATING SEASON.
- UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT TO SCHEDULE A FINAL INSPECTION.
- FAILURE TO CORRECTLY INSTALL E&S BMPs, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF E&S BMPs MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE DEPARTMENT AS DEFINED IN SECTION 602 OF THE PENNSYLVANIA CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATION.

OWNER OF RECORD:

PATRICIA MORGERA
1520 STOFF ROAD
DOWNTOWN, PA 19335
PMORGERA@COMCAST.NET



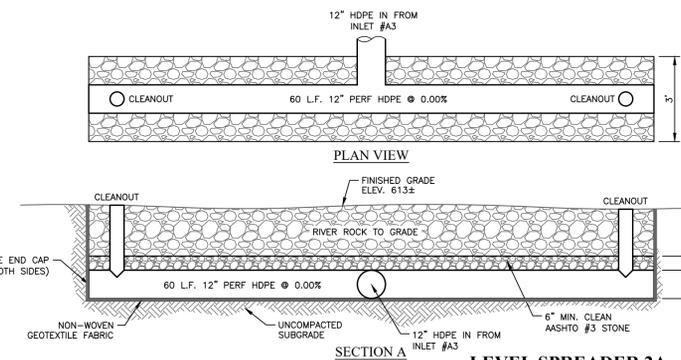
ROCK CONSTRUCTION ENTRANCE WITH WASH RACK DETAIL
(PADEP STANDARD CONSTRUCTION DETAIL #3-2)
(NOT TO SCALE)

- WASH RACK SHALL BE 20 FEET (MIN) WIDE OR TOTAL WIDTH OF ACCESS.
- WASH RACK SHALL BE DESIGNED AND CONSTRUCTED TO PREVENT THE OCCURRENCE OF ANTICIPATED CONSTRUCTION VEHICULAR TRAFFIC.
- A WATER SUPPLY SHALL BE MADE AVAILABLE TO WASH THE WHEELS OF ALL VEHICLES EXITING THE SITE.
- MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE OF ROCK MATERIAL SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. DRAIN SPACE UNDER WASH RACK SHALL BE KEPT OPEN AT ALL TIMES. DAMAGE TO THE WASH RACK SHALL BE REPAIRED PRIOR TO FURTHER USE OF THE RACK. ALL SEDIMENT DEPOSITED ON ROADWAYS OR SIDEWALKS SHALL BE REMOVED AND DEPOSITED INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

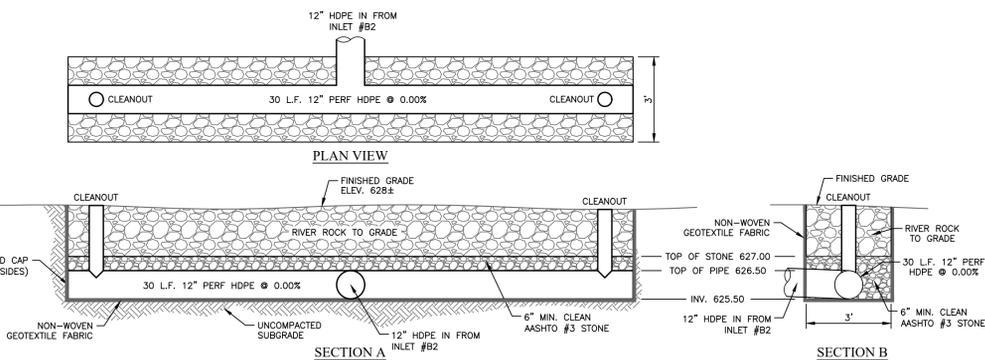
ROCK CONSTRUCTION ENTRANCE DETAIL

(PADEP STANDARD CONSTRUCTION DETAIL #3-1)
(NOT TO SCALE)

- REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.
- RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.
- MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.
- MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK. WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.



LEVEL SPREADER 2A
(NOT TO SCALE)



LEVEL SPREADER 2B
(NOT TO SCALE)

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Pennsylvania One Call System
PA act 172 of 1986 requires three working days notice
Serial Numbers:
20191573343

PENNSYLVANIA ACT 187 REQUIREMENTS:
Inland Design, LLC does not guarantee the accuracy of the location for existing subsurface utility structures shown on the plans, nor does Inland Design, LLC guarantee that all subsurface structures are shown. The contractor shall verify the location and elevation of all underground utilities and structures before the start of work.

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PROFESSIONAL ENGINEER
LINDA R. LAYNE
ENGINEER
NO. 07871
PENNSYLVANIA

No.	Date:	Description:
1	2019/12/02	REVISED PER ENGINEER'S COMMENT LETTER 2019/11/18
2	2020/01/31	REVISED PER CCCD COMMENTS

PRELIMINARY / FINAL
SUBDIVISION & LAND DEVELOPMENT PLAN

GRAPHIC SCALE
0 25 50 100 200
(IN FEET)
1 inch = 50'

Date: 10/08/2019
Scale: 1" = 50'
Drawn by: TAH
Checked by: LRL
Project No. 11420

SEDIMENT & EROSION CONTROL DETAILS-2
FOR
BELLA CUSTOM HOMES
2969 HORSESHOE TRAIL
CHESTER SPRINGS, PA 19425
WEST VINCENT TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA

S H E E T
10
OF 10